



OLD NORTH BRIDGE

# TOWN OF CONCORD

TOWN HOUSE - P.O. BOX 535  
CONCORD, MASSACHUSETTS 01742

## MCI Concord Advisory Board Agenda

Monday, August 4, 2025 at 12:00 PM

Concord Municipal Light Plant, 1175 Elm Street

Public Meeting Room and via Zoom

### More information on the MCI Concord Redevelopment:

[www.mci-concord.org](http://www.mci-concord.org)

### Join Zoom Meeting

<https://us02web.zoom.us/j/86472396907?pwd=FIgMCPVfs9SMMOJpQAqMAELh01tdLD.1>

Meeting ID: 864 7239 6907

Passcode: 938106

Dial In Toll-Free: 888 475 4499

#	Agenda Item
I.	Call to Order  - Clerk of the Meeting
II.	Approve Meeting Minutes  - July 14, 2025
III.	Public Comment
IV.	Debrief Land Use Working Group Discussions related to MCI Concord – Scott Bates, MCI Concord Advisory Board representative to the Land Use Working Group
V.	Updates on:  - DCAMM Coordination – Dan Gainsboro, Mark Howell, and Megan Zammuto, Deputy Town Manager - Next Steps for Community Outreach – John Boynton
VI.	SWOT (Strengths, Weaknesses, Opportunities, Threats) Analysis of Site – Erin Cusker

VII.	Project Phasing Work Session – Scott Bates
VIII.	Discuss Funding and Project Next Steps in preparation for Quarterly Update to Select Board on Monday, August 11, 2025 – Dan Gainsboro and Patrick McCurdy
IX.	<b>Executive Session under M.G.L. c. 30A, § 21(a)(6)</b> to consider the purchase, exchange, lease or value of real property if the chair declares that an open meeting may have a detrimental effect on the negotiating position of the public body
X.	Adjournment

*\*Times are approximate and subject to change*



The Town of Concord endeavors to make public meetings accessible to all members of the community. To request a meeting accommodation or modification, please contact our ADA Coordinator Jessica Porter at [jporter@concordma.gov](mailto:jporter@concordma.gov) or at 978-318-3028. Please make any requests for accommodation or modifications at least two (2) business days prior to the scheduled meeting.

**Town of Concord  
MCI Concord Advisory Board  
Minutes  
July 14, 2025**

Pursuant to notice duly filed with the Town Clerk, the MCI Concord Advisory Board convened in a meeting at Concord Municipal Light Plant, Public Meeting Room and via Zoom on Monday, July 14, 2025 at 12:00 PM.

Present were: Elizabeth Akehurst-Moore, Scott Bates, John Boynton, Erin Cusker (12:05 PM), Dan Gainsboro, Co-Chair, Mark Howell, Peter Lowitt, Patrick McCurdy, Co-Chair, Linda Miller, Emily Rush, and Lee Smith

Also present were: Megan Zammuto, Deputy Town Manager, Alan Cathcart, Director of Public Works, Russ Karlstad, Facilities Manager, and Shannon McAndrew, Management Specialist

**Call to Order**

Co-Chair Gainsboro called the meeting to order at 12:00 PM.

**Approval of Meeting Minutes**

Upon a motion duly made and seconded, it was UNANIMOUSLY **voted**: to approve the meeting minutes of June 30, 2025.

**Roll Call Vote:**

Ms. Akehurst-Moore – Aye  
Mr. Boynton – Aye  
Mr. Bates – Aye  
Ms. Cusker – Not yet present  
Mr. Gainsboro – Aye  
Mr. Howell – Aye  
Mr. Lowitt – Aye  
Mr. McCurdy – Aye  
Ms. Miller – Aye  
Ms. Rush – Aye  
Mr. Smith – Aye

**DCAMM Updates**

- Transition of Property: As of July 1, 2025, the Division of Capital Asset Management and Maintenance (DCAMM) was supposed to have taken over the property from the Department of Corrections (DOC). However, there is no official confirmation that this has occurred yet per Deputy Town Manager Megan Zammuto.
- Site Presence: The DOC had personnel on site while working to transition out of the property, but once the property is transitioned to DCAMM, DCAMM will have private security personnel on site. As such, site tours will still be going through the DOC, as the private security personnel will not have the historical knowledge of the site.

**Town of Concord**  
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**Minutes**  
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**Fiscal Year 2026 Funding Updates**

- New Fiscal Year 2026 Earmark: A positive development is an announcement of an earmark of \$250,000 from the State for MCI Concord planning efforts. This is in addition to \$250,000 approved through a Free Cash appropriation from the 2025 Annual Town Meeting, bringing the total available for the Fiscal Year to \$500,000.
  - The Advisory Board discussed that Federal funding could impact State funding, so the Board should be cautious until the funds are received.
- Fiscal Year 2025 Earmarks: Attempts to carry over unspent funds from the Fiscal Year 2025 earmark were unsuccessful due to the need for legislative action that did not occur. That said, Ms. Zammuto noted that the funds were completely spent, with \$400,000 going to the Agency Landscape + Planning contract and the remainder going toward the Weston and Sampson contract for wastewater treatment plant feasibility studies, along with some contingency funds spent. Ms. Zammuto is wrapping up the reporting for the earmarks and will have a complete report for the Board at their next meeting.
- Costly Liabilities and Developer Burden: The site comes with significant financial liabilities, which are seen as obstacles to redevelopment. The Board discussed the possibility of the State, not the Town or a private developer, incurring the costs of remediating the site given its condition under State care.
- ARPA Funds for Zoning: Ms. Zammuto also reminded the Board that \$100,000 from ARPA funds are set aside for zoning phase of the project, to be spent by December 2026.

**Project Next Steps**

- Ms. Akehurst-Moore stressed the need to define the Advisory Board's next steps and focus, rather than rushing to spend funds. Mr. Howell agreed, noting that a primary purpose of the meeting would be to discuss concrete next steps for the Board.
- Department of Transportation (DOT) Coordination: Agency Landscape + Planning shared different development scenarios with DOT, who appreciated early involvement from the Town. Quarterly updates between DOT and the Town would continue to manage the lack of alignment in development speeds.
- Review of Agency Landscape + Planning Report: The Board concurred that they would like minor corrections made to the Report prior to widely publishing the Report on the [www.mci-concord.org](http://www.mci-concord.org) website and Town website.
- Mr. Boynton suggested moving towards a consensus on what the Board's preferred scenario is, potentially a hybrid scenario, combining elements from all as Agency discussed would likely be the case.
- Mr. Boynton noted that it is important to maintain momentum with community outreach, and the Board should work to keep the conversations going while the Town considers the scenarios presented in Agency's Report. Mr. Boynton also stressed the importance of maintaining current information on the project webpage.
- Ms. Zammuto and Ms. McAndrew will reach out to Agency Landscape + Planning to discuss a possible contract extension with some of the work discussed at the meeting, including minor corrections to the Report and community outreach needs.

**Town of Concord  
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- Reporting to Select Board: The Advisory Board needs to provide the Select Board with an update, including the preferred scenario and identified information gaps. Mr. Howell, as Select Board Chair and Select Board member to the Advisory Board, suggested that this take place at the Monday, August 11, 2025 Select Board meeting.

**Adjournment**

Co-Chair Gainsboro adjourned the meeting at 1:38 PM.

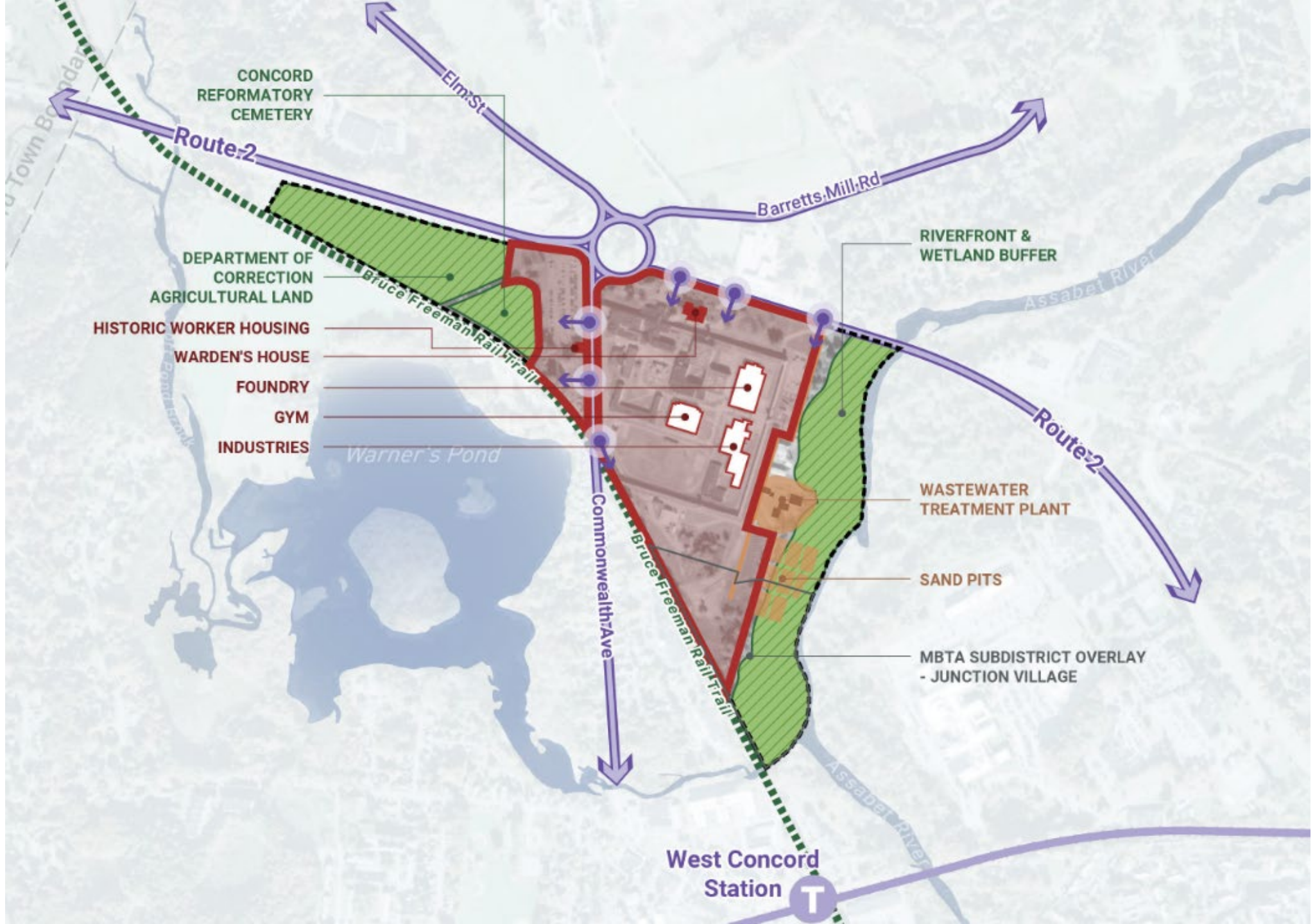
**Meeting Materials:**

[MCI Concord Advisory Board Meeting Packet for July 14, 2025](#)

[MCI Concord Advisory Board Meeting Recording for July 14, 2025](#)

DRAFT





CONCORD  
REFORMATORY  
CEMETERY

Elm St

Route-2

Barretts Mill Rd

RIVERFRONT &  
WETLAND BUFFER

DEPARTMENT OF  
CORRECTION  
AGRICULTURAL LAND

Bruce Freeman Rail Trail

Route-2

HISTORIC WORKER HOUSING

WARDEN'S HOUSE

FOUNDRY

GYM

INDUSTRIES

Warner's Pond

WASTEWATER  
TREATMENT PLANT

Commonwealth Ave

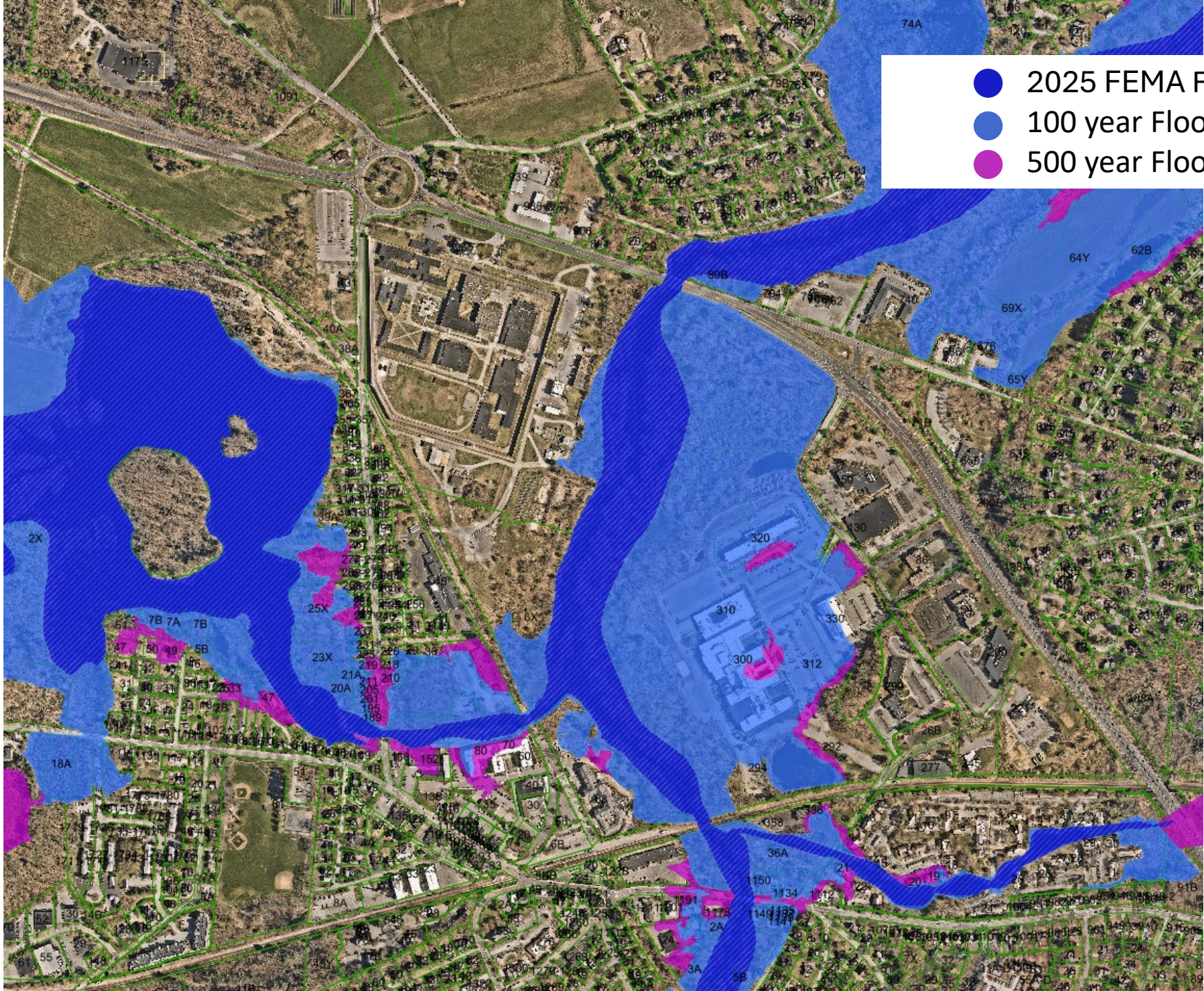
SAND PITS

Bruce Freeman Rail Trail

MBTA SUBDISTRICT OVERLAY  
- JUNCTION VILLAGE

West Concord  
Station



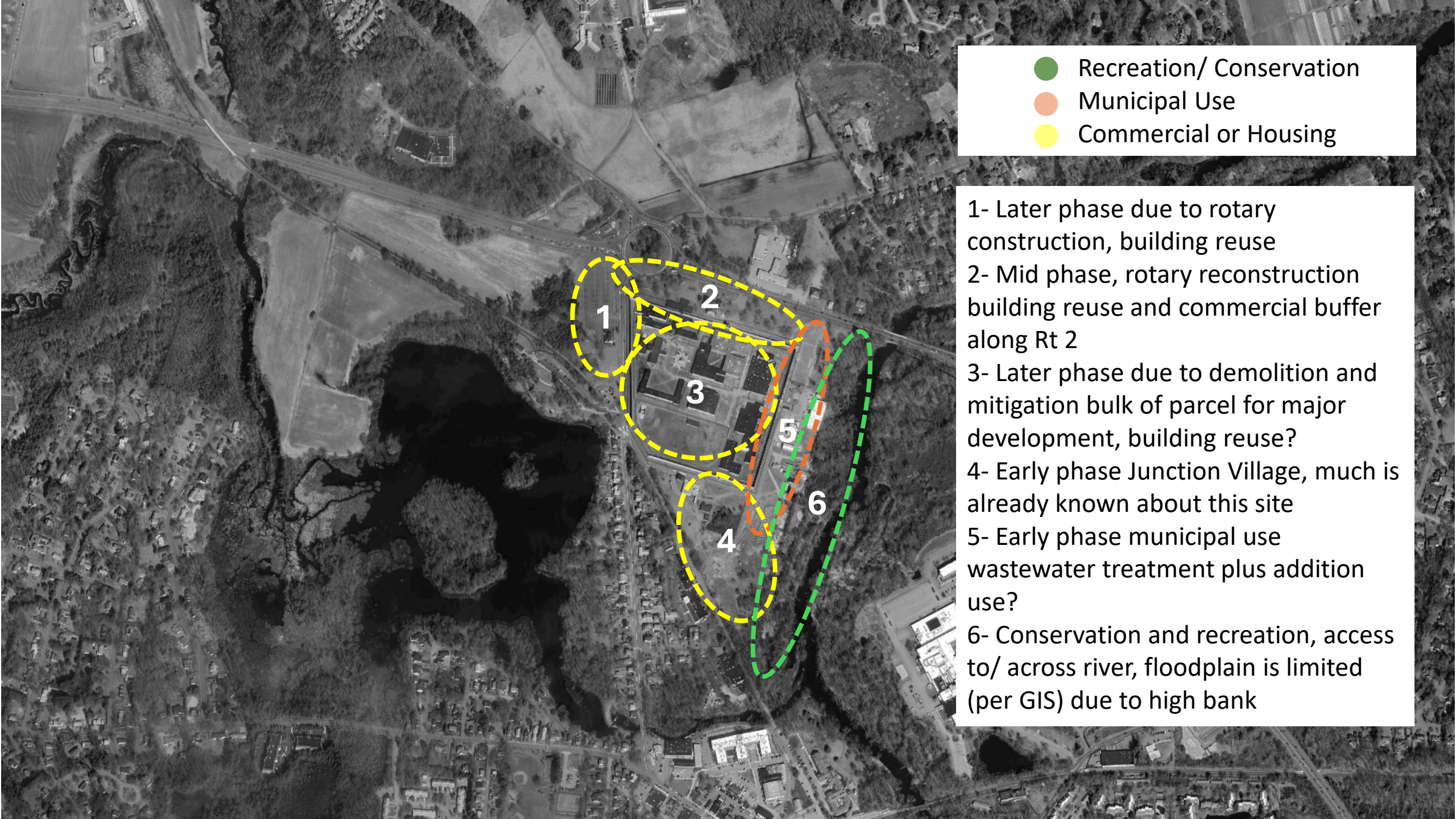


- 2025 FEMA Floodway
- 100 year Floodplain (AE Zone)
- 500 year Floodplain



- Recreation/ Conservation
- Municipal Use
- Commercial or Housing





- Recreation/ Conservation
- Municipal Use
- Commercial or Housing

- 1- Later phase due to rotary construction, building reuse
- 2- Mid phase, rotary reconstruction building reuse and commercial buffer along Rt 2
- 3- Later phase due to demolition and mitigation bulk of parcel for major development, building reuse?
- 4- Early phase Junction Village, much is already known about this site
- 5- Early phase municipal use wastewater treatment plus addition use?
- 6- Conservation and recreation, access to/ across river, floodplain is limited (per GIS) due to high bank