

NOTES:

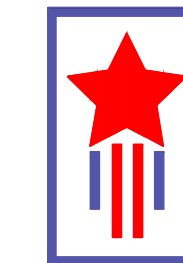
1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF CONCORD GIS SYSTEM

874 BARRETT'S MILL ROAD ASSESSORS MAP 7D LOT 1994 DEFINITIVE SUBDIVISION LOCATED IN CONCORD, MA MAY 14, 2025 REVISED: MAY 28, 2025



LOCUS CONTEXT MAP
(SCALE 1"=100')

PREPARED BY:



PATRIOT Engineering

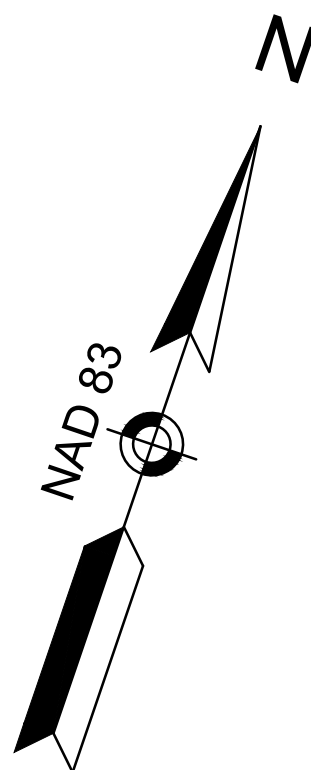
PO BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com



SHEET INDEX

- C-1 COVER SHEET
- C-2 RECORD CONDITIONS PLAN
- C-3 CONSTRUCTION MANAGEMENT PLAN
- C-4 PROPOSED SUBDIVISION PLAN
- C-5 GRADING AND DRAINAGE
- C-6 UTILITY PLAN
- C-7 PROFILE PLAN
- L-1 LANDSCAPE PLAN
- C-8 DETAILS
- C-9 DETAILS
- C-10 DETAILS

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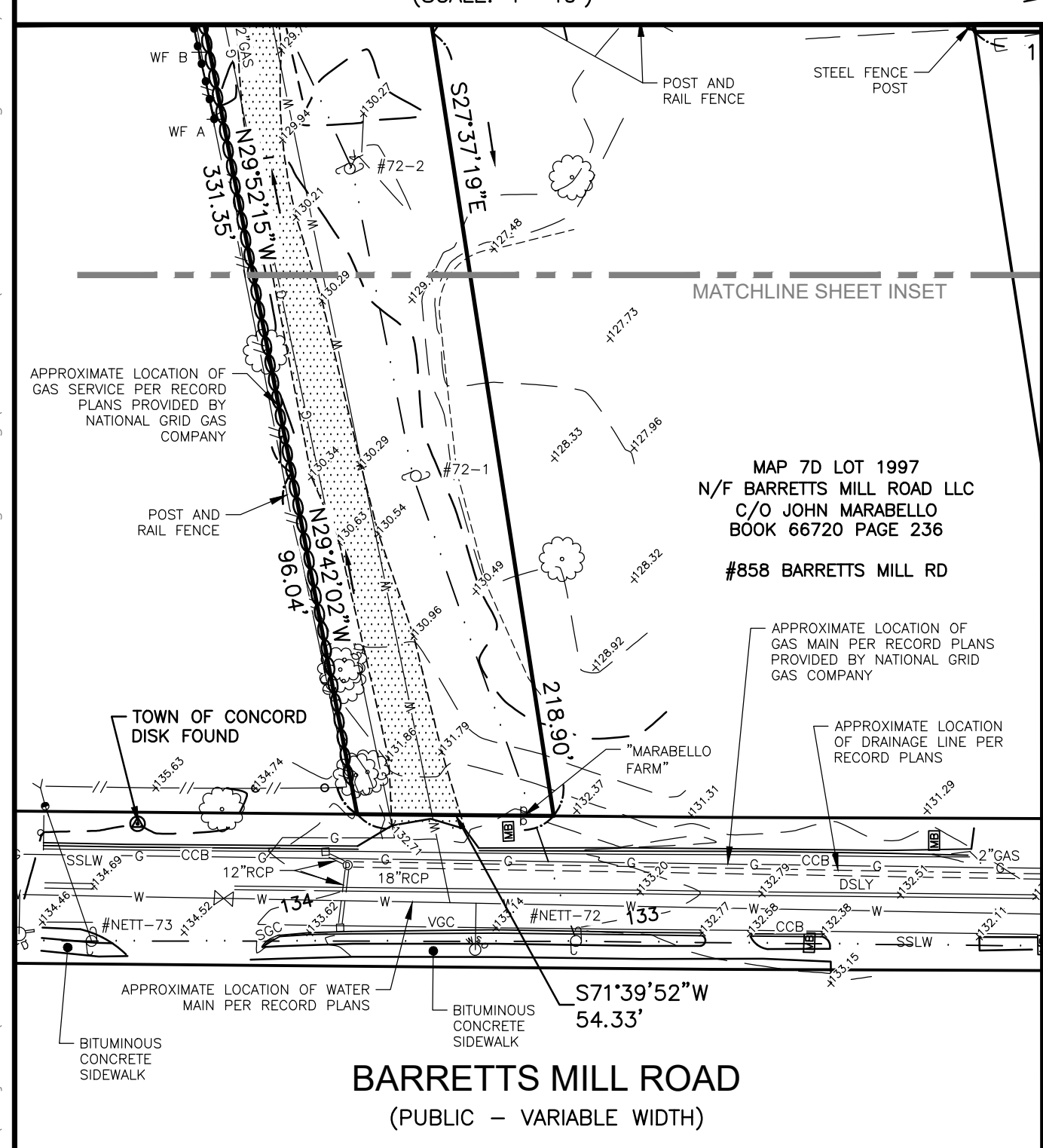


LEGEND

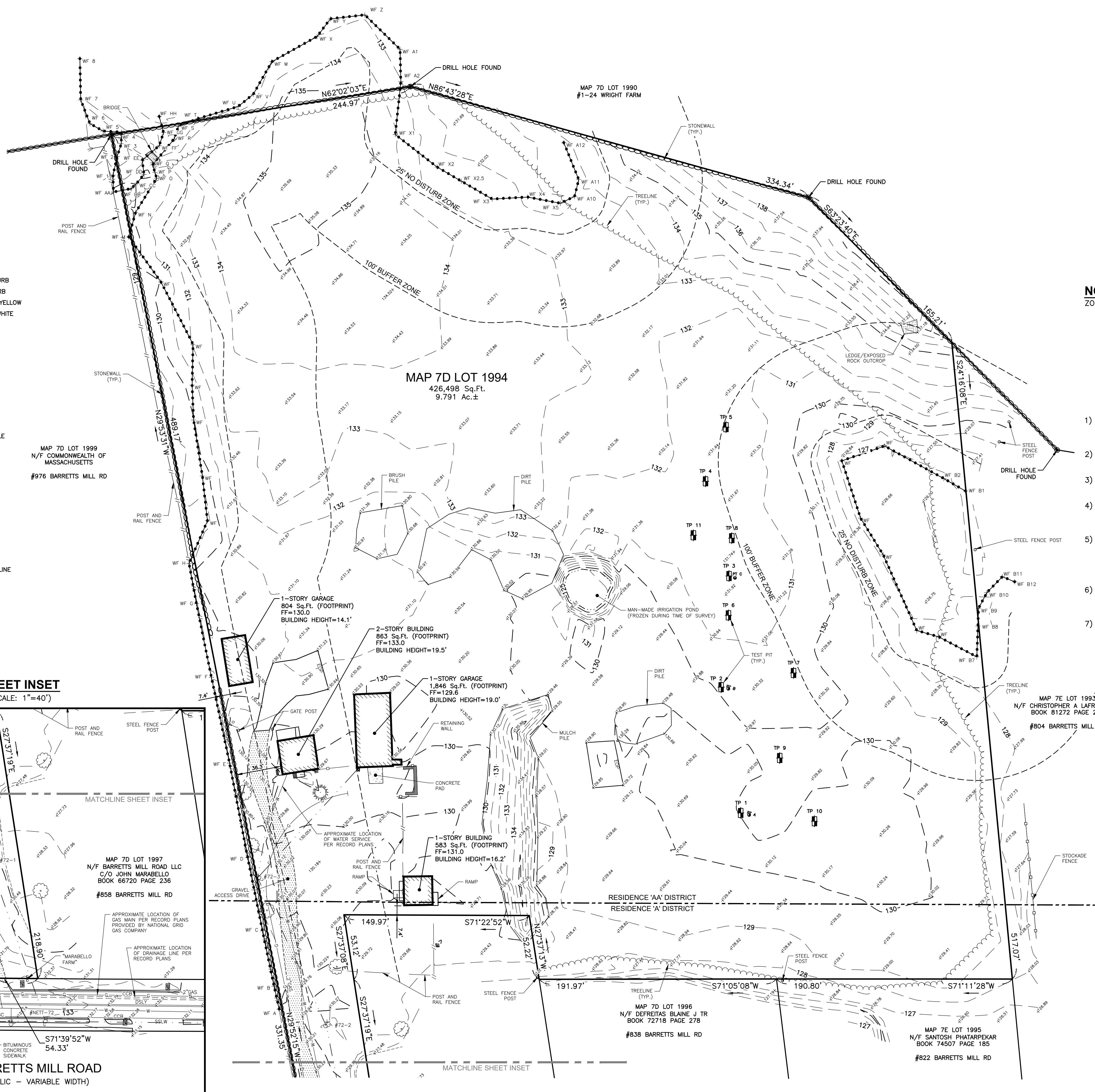
- CCB CAPE COD BERM
- VGC VERTICAL GRANITE CURB
- SGC SLOPED GRANITE CURB
- DSLW DOUBLE SOLID LINE YELLOW
- SSLW SINGLE SOLID LINE WHITE
- G GAS LINE
- W WATER LINE
- STOCKADE FENCE
- POST & RAIL FENCE
- 90 CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- PULL BOX/HAND HOLE
- SIGN
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- BOLLARD
- GAS METER
- ELECTRIC METER
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- WETLAND LINE
- ZONE LINE

MAP 7D LOT 1999
N/F COMMONWEALTH OF MASSACHUSETTS
#976 BARRETTS MILL RD

SHEET INSET
(SCALE: 1"=40')



BARRETTS MILL ROAD
(PUBLIC - VARIABLE WIDTH)



LOCATION MAP
(NOT TO SCALE)

NOTES:

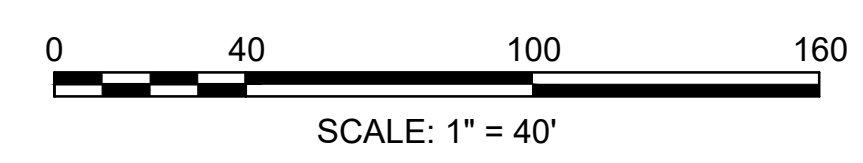
- ZONE: RESIDENCE AA DISTRICT (RAA)/RESIDENCE A DISTRICT (RA)
- MIN. LOT SIZE: 80,000 Sq.Ft. 40,000 Sq.Ft.
MIN. LOT FRONTAGE: 200 FT./150 FT.
- SETBACKS:
FRONT 40 Ft.
SIDE 15 Ft.
REAR LESSER OF: 30 Ft. OR 25% OF LOT DEPTH
- REFER TO THE TOWN OF CONCORD ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE CONCORD ZONING ORDINANCE.
- 1) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN DECEMBER 5 AND DECEMBER 16, 2024.
 - 2) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON DECEMBER 6, 2024.
 - 3) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON DECEMBER 6, 2024.
 - 4) THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OF OR TITLE TO LANDS SHOWN HEREON. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION AND NOT THOSE OF A BOUNDARY SURVEY.
 - 5) EASEMENTS SHOWN HEREON WERE IDENTIFIED THROUGH A SEARCH OF PUBLIC RECORDS. OTHER EASEMENTS MAY EXIST OTHER THAN THOSE SHOWN THAT WOULD BE IDENTIFIED THROUGH A TITLE EXAMINATION. NO TITLE EXAMINATION WAS PROVIDED TO THE SURVEYOR DURING THE PREPARATION OF THIS PLAN.
 - 6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
 - 7) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 25017C0357F & 25017C0359F, WITH AN EFFECTIVE DATE OF JULY 7, 2014.

PLAN REFERENCES:

- SOUTHERN MIDDLESEX REGISTRY OF DEEDS
- 1) PLAN 1084 OF 1974
 - 2) PLAN 87 OF 2020
 - 3) PLAN 1085 OF 2005
 - 4) PLAN 1740 OF 1987
 - 5) PLAN 832 OF 1985
 - 6) PLAN 682 OF 1954
 - 7) PLAN 1637 OF 1951
 - 8) PLAN 2085 OF 1952
 - 9) PLAN 696 OF 1931
 - 10) 1924 COUNTY LAYOUT OF BARRETTS MILL ROAD

OWNER OF RECORD:

MAP 7D LOT 1994
BARRETTS MILL ROAD LLC
c/o JOHN MARABELLO
858 BARRETTS MILL RD
CONCORD, MA 01742
BOOK 66720 PAGE 231



GPI Engineering
Design
Planning
Construction Inspection
603.893.0720
GPINET.COM
Greenman-Pedersen, Inc.
44 Siles Road, Suite One
Salem, NH 03079

PREPARED FOR
PATRIOT ENGINEERING, LLC
P.O. BOX 362
LEXINGTON, MA

ASSESSOR MAP 7D LOT 1994
874 BARRETTS MILL ROAD
CONCORD, MASSACHUSETTS

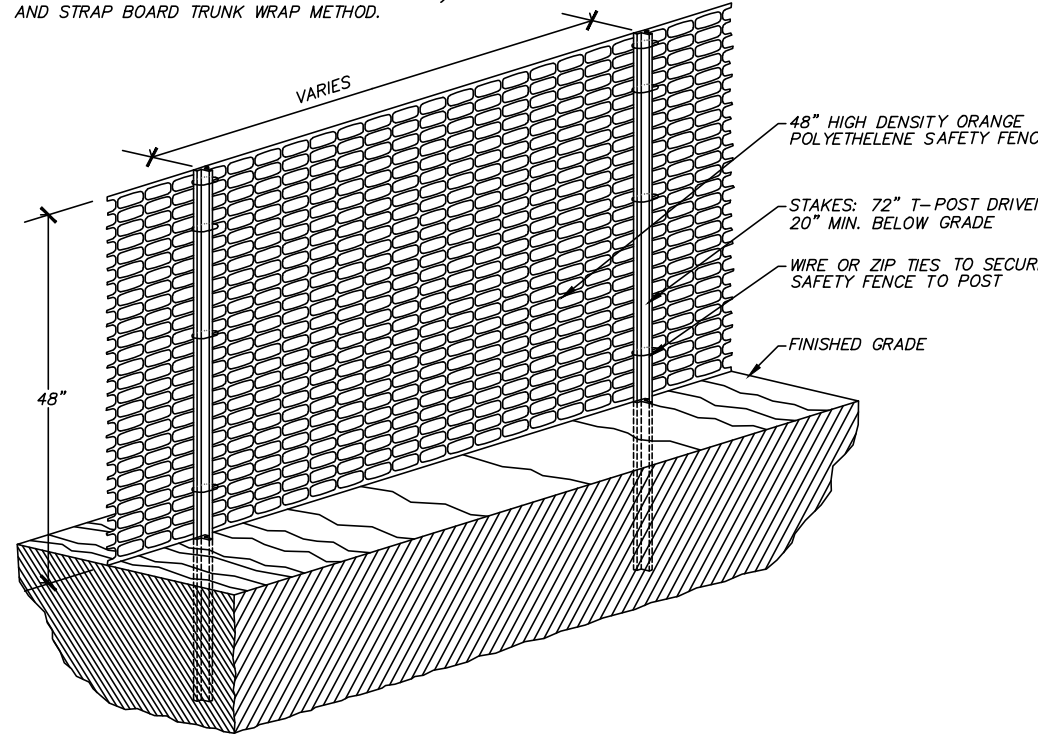


REVISIONS		
NO.	REVISION	DATE

MAY 14, 2025
DRAWN/DESIGN BY: CSS/DPD
CHECKED BY: SML

EXISTING CONDITIONS PLAN
SCALE: 1"=40'
NEX-2400342
C-2

NOTE:
 1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



CONSTRUCTION FENCE/TREE PROTECTION
 (NOT TO SCALE)



- PHASE I CONSTRUCTION SEQUENCE**
1. INSTALL ALL EROSION CONTROL MEASURES AS REQUIRED.
 2. MEET WITH CONCORD PLANNING STAFF, SITE CONTRACTOR, AND EROSION CONTROL MONITOR AT PRE-CONSTRUCTION MEETING TO REVIEW EROSION CONTROL MEASURES AND SITE PLAN REVIEW CONDITIONS.
 3. INSTALL TEMPORARY, HIGH VISIBILITY, ORANGE CONSTRUCTION FENCING AROUND ENTIRE PROPERTY TO DELINEATE WORK AREA. TEMPORARY CONSTRUCTION FENCING WILL BE INSTALLED BEHIND EROSION CONTROL MEASURES TO ENSURE ADEQUATE ACCESS TO THE EROSION CONTROLS FOR INSPECTION, MAINTENANCE, AND REPAIR AS NEEDED FOR THE DURATION OF CONSTRUCTION.
 4. REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS FROM SITE.
 5. REMOVE ALL SPECIFIED TREES AND STUMPS.
 6. TEST REMAINING SOIL FOR CONTAMINANTS AND PLANTING SUITABILITY.
 7. DRESS THE TEMPORARY STAGING AND PARKING AREAS ON SITE WITH CRUSHED STONE.

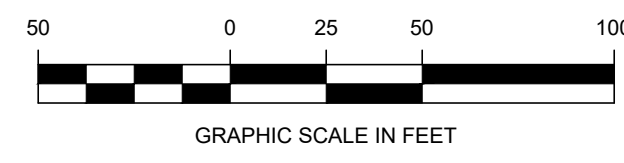
- PHASE II CONSTRUCTION SEQUENCE**
1. EXCAVATE BASEMENT AREAS TO BOTTOM OF FOOTING. STOCKPILE MATERIAL FOR BACKFILL AND HAUL REMAINDER OF MATERIAL OFF SITE.
 2. FURNISH AND INSTALL BASEMENT FOOTINGS AND FOUNDATION WALLS.
 3. WATERPROOF, INSULATE AND BACKFILL BASEMENT FOOTINGS AND FOUNDATION WALLS.
 4. EXCAVATE FOR AND INSTALL PERIMETER FOOTINGS AND FOUNDATION FROST WALLS AND INTERIOR FOOTINGS. WATERPROOF, INSULATE AND BACKFILL THESE AREAS.
 5. EXCAVATE AND BACKFILL ALL NECESSARY TRENCHES IN ORDER TO FURNISH AND INSTALL ALL UNDERGROUND PLUMBING, SECONDARY ELECTRICAL, ETC.
 6. EXCAVATE FOR AND CONSTRUCT INFILTRATION SYSTEM(S).
 7. FROM THIS POINT ON, THE VERTICAL CONSTRUCTION CONTINUES IN THE SAME CONVENTIONAL MANNER AS ANY MAJOR URBAN DEVELOPMENT PROJECT.

- PHASE III CONSTRUCTION SEQUENCE**
1. TILL SUBSOIL OR SCARIFY WITH EXCAVATOR BUCKET TEETH TO ENSURE FRIABLE SOIL PLANTING MEDIUM BENEATH TOPSOIL.
 2. FURNISH AND SPREAD APPROVED TOPSOIL FROM SUB GRADE TO FINISH GRADE PER TOPSOIL SPECIFICATIONS ON APPROVED LANDSCAPE PLANS. TOPSOIL TO BE TESTED FOR LOAMY SAND TEXTURE AND 5-8% ORGANIC CONTENT.
 3. FURNISH, DELIVER AND INSTALL ALL PLANT MATERIAL PER APPROVED DESIGN DOCUMENTS. PROJECT WETLAND SCIENTIST AND/OR LANDSCAPE ARCHITECT SHALL INSPECT PLANTS PRIOR TO INSTALLATION, AND OVERSEE SITING AND INSTALLATION OF ALL PLANTS.
 4. AT THE TIME OF INSTALLATION, ALL PLANTS TO RECEIVE A DEEP WATERING.
 5. CLEANUP AND DEMOBILIZE.
 6. UPON SUCCESSFUL SEED GERMINATION AND SOIL STABILIZATION, REMOVE EROSION CONTROLS.

- ADDITIONAL CONSTRUCTION NOTES:**
- TRASH REMOVAL: THE 30 YARD DUMPSTER THAT IS REQUIRED FOR GENERAL CONSTRUCTION WASTE IS APPROXIMATELY 22' X 8'. IT WILL BE SCREENED BY SIX FOOT TALL TEMPORARY FENCING AND SCRIM.
 - TEMPORARY RESTROOM FACILITIES: TEMPORARY RESTROOM FACILITIES WILL BE LOCATED BEHIND THE DUMPSTER AREA WITHIN THE CONSTRUCTION ZONE SO THAT THEY WILL BE SCREENED FROM THE ROAD, THERE WILL BE A TOTAL OF TWO TO FOUR RESTROOM COMPARTMENTS REQUIRED FOR THE PROJECT DURATION.
 - SNOW MANAGEMENT: DURING CONSTRUCTION SNOW WILL BE REMOVED IN ITS ENTIRETY ON THE CONSTRUCTION SIDE OF THE FENCE BY THE GENERAL CONTRACTOR AND HAULED OFF SITE AS REQUIRED. THE TOWN WILL REMOVE SNOW ON THE PUBLIC SIDE OF THE FENCE AS IT NORMALLY WOULD. ANY RESIDUAL SNOW THAT MAY BE IN CONTACT WITH THE PUBLIC SIDE OF THE TEMPORARY FENCING WILL BE REMOVED BY THE GENERAL CONTRACTOR.
 - ONCE INFILTRATION SYSTEMS ARE IN PLACE NO PARKING OR MATERIAL STORAGE IS PERMITTED ABOVE THEM.
 - NO STORMWATER RUNOFF SHOULD BE DISCHARGED TO THE ON-SITE STORMWATER MANAGEMENT SYSTEM UNTIL THE SITE IS FULLY STABILIZED, WITH THE EXCEPTION OF ROOF LEADERS THAT CAN BE CONNECTED ONCE ABLE TO BE INSTALLED.
 - THE ON-SITE INFILTRATION SHOULD BE BLOCKED FROM VEHICLE TRAFFIC DURING CONSTRUCTION UNTIL THE SITE IS FULLY STABILIZED.
 - SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORK DAY. SIDE SLOPES NOT TO EXCEED 2:1. 12" DIAMETER (MINIMUM) FILTERMITT SHALL BE INSTALLED AROUND EACH STOCKPILE.
 - NO ONSITE REFUELING OF CONSTRUCTION VEHICLES OR EQUIPMENT.
 - DUST CONTROL LIMITED TO POTABLE WATER. CALCIUM CHLORIDE SHALL NOT BE USED FOR DUST CONTROL.
 - SEGMENTS OF THE ROAD ON WHICH ANY SEDIMENT IS DEPOSITED SHALL BE SWEEPED WITHIN 24 HOURS OR MORE FREQUENTLY AS REQUIRED OR DIRECTED BY TOWN STAFF.
 - ANY SEDIMENT OR DEBRIS DISCHARGED TO ANY TOWN DRAINAGE STRUCTURE OR DRAINLINE SHALL BE REMOVED WITHIN 24 HOURS.

LEGEND	DESCRIPTION
	PROPOSED LIMIT OF WORK LINE
	PROPOSED FILTERMITT
	PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
	PROPOSED TEMPORARY CONSTRUCTION PARKING
	PROPOSED TEMPORARY CONSTRUCTION FENCING

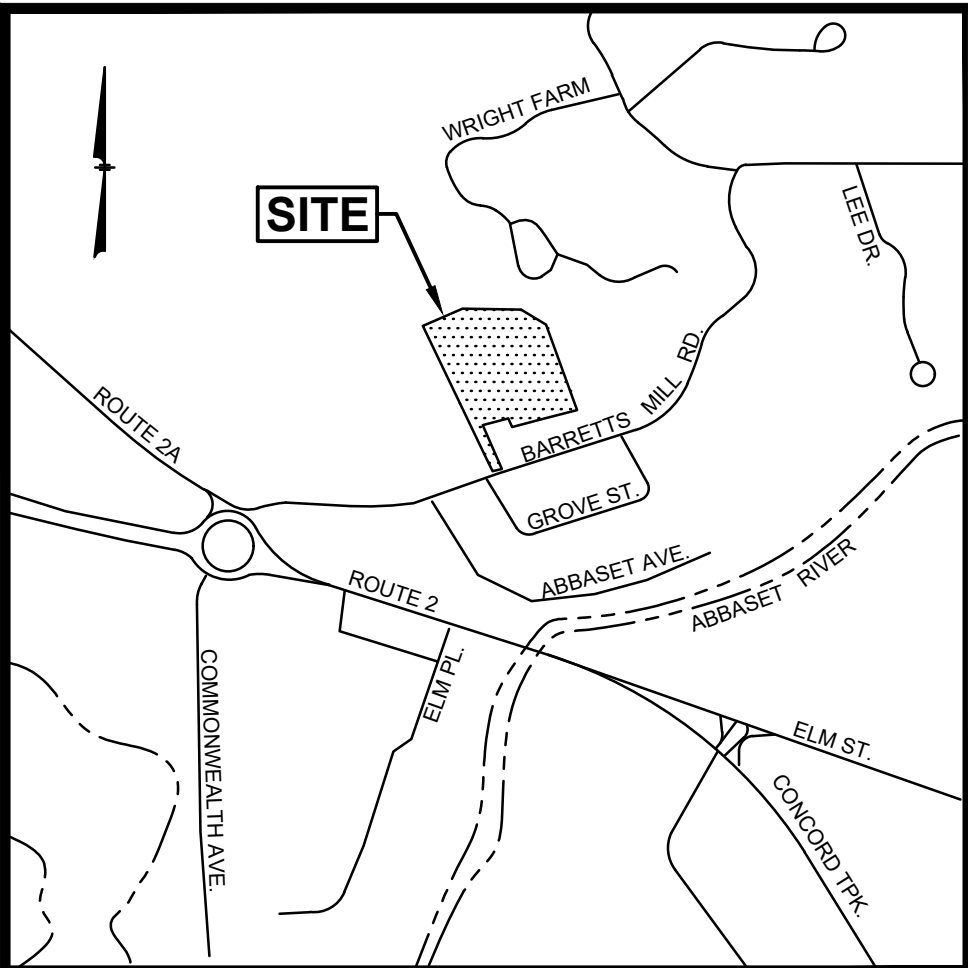
BARRETT'S MILL ROAD
 (PUBLIC - VARIABLE WIDTH)



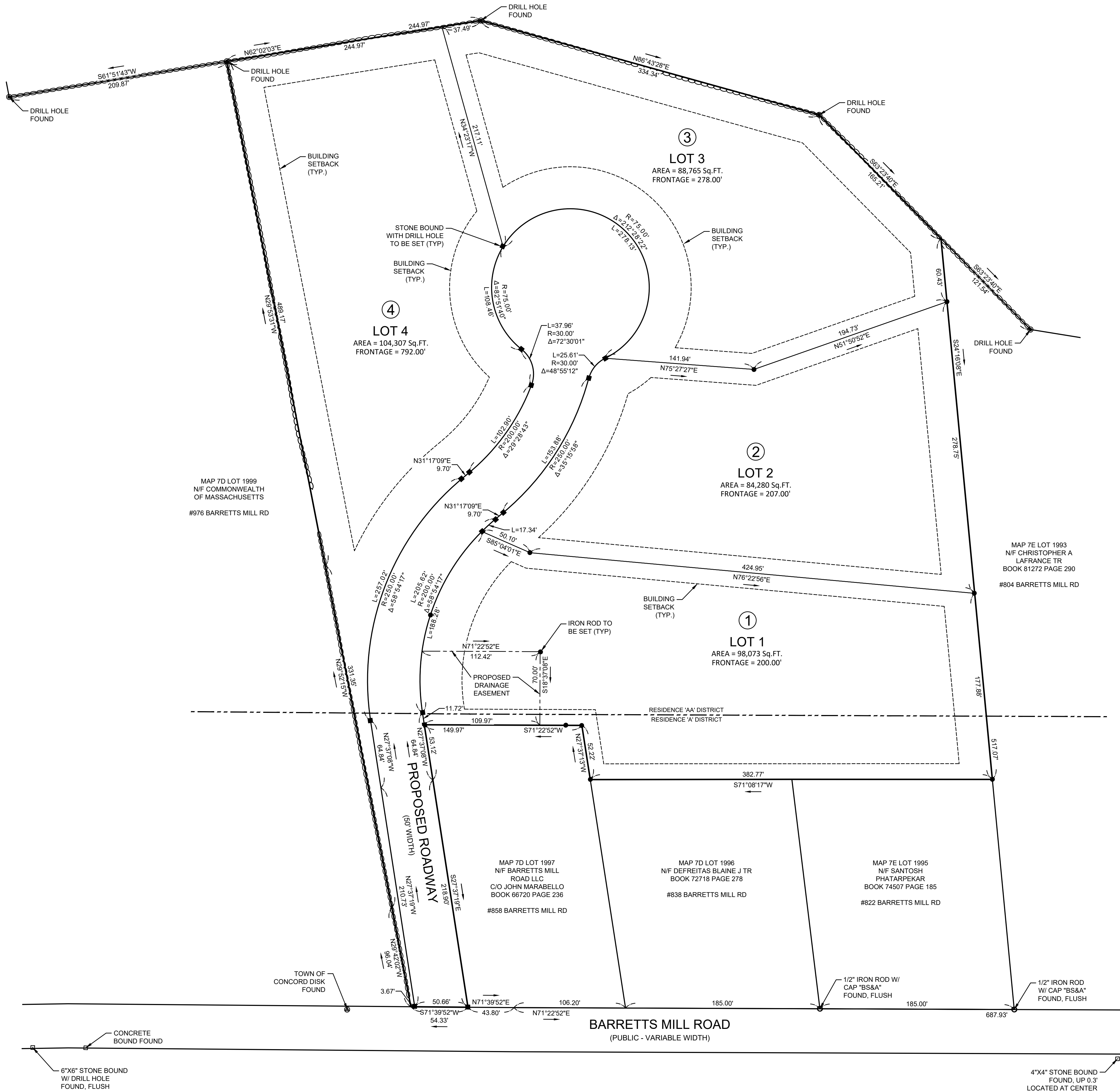
ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

NOT FOR CONSTRUCTION

<p>DATE: 5-14-2025 DRAWN BY: MVC CHECKED BY: MJM</p>							
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>5-28-2025</td> <td>MVC</td> <td>REVISIONS PER COMMENTS</td> </tr> </tbody> </table>	DATE	BY	DESCRIPTION	5-28-2025	MVC	REVISIONS PER COMMENTS	<p>DESCRIPTION</p>
DATE	BY	DESCRIPTION					
5-28-2025	MVC	REVISIONS PER COMMENTS					
<p>COMMONWEALTH OF MASSACHUSETTS MICHAEL J. CONK No. 50686 REGISTERED PROFESSIONAL ENGINEER</p>							
<p>PATRIOT Engineering PO BOX 362 LEXINGTON, MASSACHUSETTS 02420 T: (978) 726-2654 www.patriot-eng.com</p>							
<p>CONSTRUCTION MANAGEMENT PLAN LOCATED IN CONCORD, MA (MIDDLESEX COUNTY) PREPARED FOR SA DEVELOPMENT</p>							
<p>SHEET C - 3</p>							



LOCATION MAP
(NOT TO SCALE)



MAP 7D LOT 1999
N/F COMMONWEALTH
OF MASSACHUSETTS
#976 BARRETTS MILL RD

MAP 7E LOT 1993
N/F CHRISTOPHER A
LAFRANCE TR
BOOK 81272 PAGE 290
#804 BARRETTS MILL RD

NOTES:
ZONE: RESIDENCE AA DISTRICT (RAA)/RESIDENCE A DISTRICT (RA)

- MIN. LOT SIZE: 80,000 Sq. Ft. 40,000 Sq. Ft.
MIN. LOT FRONTAGE: 200 FL/150 FL.
SETBACKS:
FRONT 40 FL.
SIDE 15 FL.
REAR LESSER OF: 30 FL. OR 25% OF LOT DEPTH

REFER TO THE TOWN OF CONCORD ZONING ORDINANCE FOR VERIFICATION. ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE CONCORD ZONING ORDINANCE.

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PLAN REFERENCES:
SOUTHERN MIDDLESEX REGISTRY OF DEEDS

- PLAN 1084 OF 1974
- PLAN 87 OF 2020
- PLAN 1085 OF 2005
- PLAN 1740 OF 1987
- PLAN 832 OF 1985
- PLAN 682 OF 1954
- PLAN 1637 OF 1951
- PLAN 2085 OF 1952
- PLAN 696 OF 1931
- 1924 COUNTY LAYOUT OF BARRETTS MILL ROAD

CLERK'S CERTIFICATION:

I, _____ CLERK OF THE TOWN OF CONCORD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

CONCORD PLANNING BOARD

APPROVAL DATE

ENDORSEMENT DATE

CERTIFICATION:

- I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.
- I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



Scott M. L'Italien
SCOTT M. L'ITALIEN, PLS 50815 DATE 5/14/2025

NO.	DESCRIPTION	BY	DATE
REVISIONS			

DEFINITIVE SUBDIVISION PLAN

ASSESSORS MAP 7D LOT 1994
874 BARRETTS MILL ROAD
CONCORD, MA
OWNED BY:
BARRETTS MILL ROAD LLC
C/O JOHN MARABELLO
858 BARRETTS MILL ROAD
CONCORD, MA 01742
BOOK 66720 PAGE 231

GPI Engineering Design Planning Construction Management
603.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1"=50'	DATE: MAY 14, 2025	DRAWING NO. 2400342_SV_SUBD.dwg
DRAWN BY: HKS	CHECKED BY: SML	PROJECT NO. 2400342
		SHEET NO. C-4



- NOTES:**
1. THIS PLAN IS BASED ON A PARTIAL SURVEY PERFORMED ON THE GROUND BY GPI, CONCORD GIS AND RECORD PLANS.
 2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE AA ZONING DISTRICT.
 3. THE SUBJECT PROPERTY IS DEPICTED AS LOT 1994 ON THE TOWN OF CONCORD ASSESSOR'S MAP 7D.
 4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED, THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

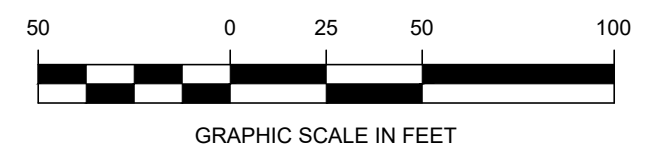
TABLE OF DIMENSIONAL REQUIREMENTS

ZONE: AA

ITEM	REQUIREMENT
MIN LOT AREA	80,000 SF
MIN FRONTAGE	200'
BUILDING SETBACKS	
FRONT YARD	40'
SIDE YARD	15'
REAR YARD	30' (OR 25% OF LOT DEPTH)

LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
— 134 —	PROPOSED CONTOUR
○	PROPOSED DRAIN MANHOLE (PDMH)
▲	PROPOSED FIRE HYDRANT
⊘	PROPOSED FILTERMITT
- - -	PROPOSED LIMIT OF WORK LINE
⊙	PROPOSED SEWER MANHOLE (PSMH)

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.



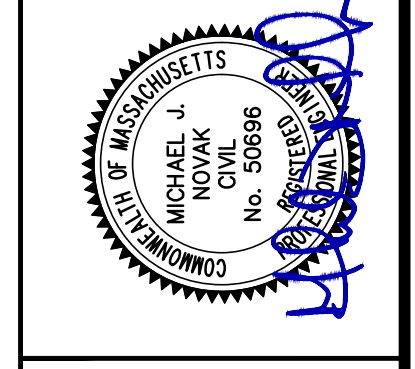
NOT FOR CONSTRUCTION

874 BARRETT'S MILL ROAD
CONCORD, MA

DRAWN BY: MVC
CHECKED BY: MJM

DATE: 5-14-2025

REVISIONS	DESCRIPTION
DATE	BY
5-28-2025	MVC
	REVISIONS PER COMMENTS



Patriot Engineering
PO BOX 362
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com

SITE PLAN - GRADING & DRAINAGE
LOCATED IN
CONCORD, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SA DEVELOPMENT

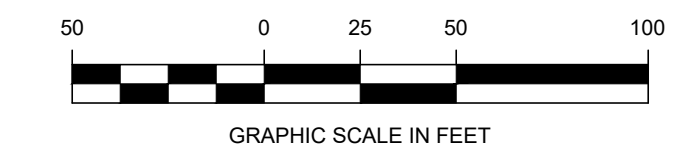
SHEET
C - 5



- NOTES:**
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 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

- UTILITY NOTES:**
1. ALL SEWER MAINS SHALL BE 8" SCH 40 PVC, UNLESS OTHERWISE NOTED.
 2. ALL PROPOSED SEWER SERVICES SHALL BE 6" SCH 40 PVC AND AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
 3. ALL WATER MAINS SHALL BE 8" DI, UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED WATER SERVICES SHALL BE 1.5" COPPER, UNLESS OTHERWISE NOTED.
 5. SEPARATION OF SEWER AND WATER LINES SHALL BE 18 INCHES (18") VERTICALLY OR 10 FEET (10') HORIZONTALLY. IF THIS CANNOT BE ACHIEVED THE SEWER SHALL BE INCASED IN CONCRETE.
 6. ALL STORM DRAIN MAINS AND LATERALS SHALL BE 12" SCHEDULE 40 PVC. (EXCEPT ROOF AND YARD DRAIN CONNECTIONS WHICH SHALL BE 6" SCHEDULE 40 PVC OR APPROVED EQUAL)
 7. ALL CABLE/POWER UTILITIES TO BE INSTALLED UNDERGROUND ONSITE

LEGEND	DESCRIPTION
PEOP	PROPOSED EDGE OF PAVEMENT
PVGC	PROPOSED VERTICAL GRANITE CURB
■	PROPOSED CATCH BASIN (PCB)
⊙	PROPOSED DRAIN MANHOLE (PDMH)
— PD —	PROPOSED DRAIN LINE
— PS —	PROPOSED SEWER LINE
— PWS —	PROPOSED WATER SERVICE
— PSS —	PROPOSED SEWER SERVICE
●	PROPOSED FIRE HYDRANT
— PW —	PROPOSED WATER LINE



ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

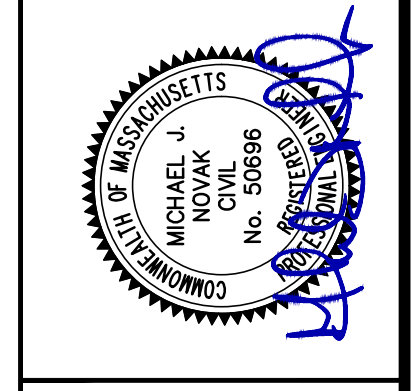
NOT FOR CONSTRUCTION

874 BARRETT'S MILL ROAD
CONCORD, MA

DRAWN BY: MVC
CHECKED BY: MJM

DATE: 5-14-2025

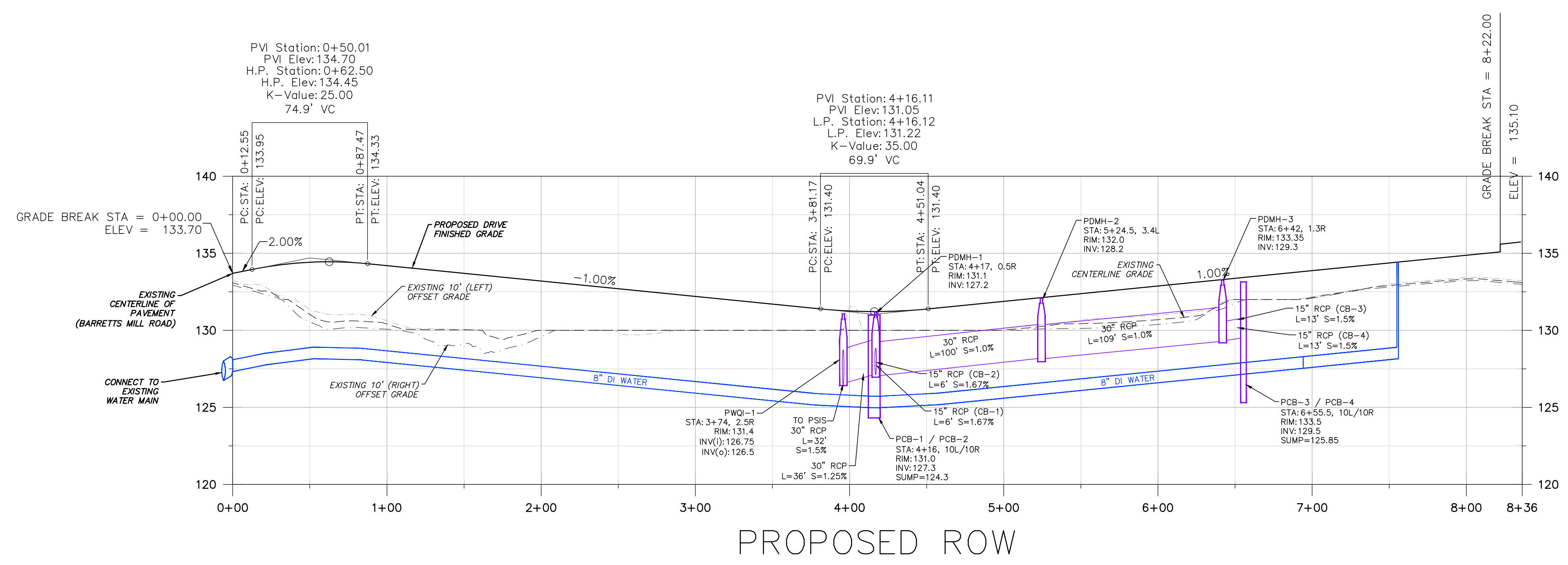
REVISIONS	DATE	BY	DESCRIPTION
	5-28-2025	MVC	REVISIONS PER COMMENTS



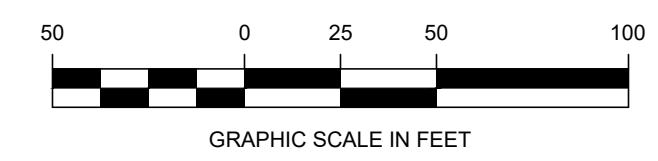
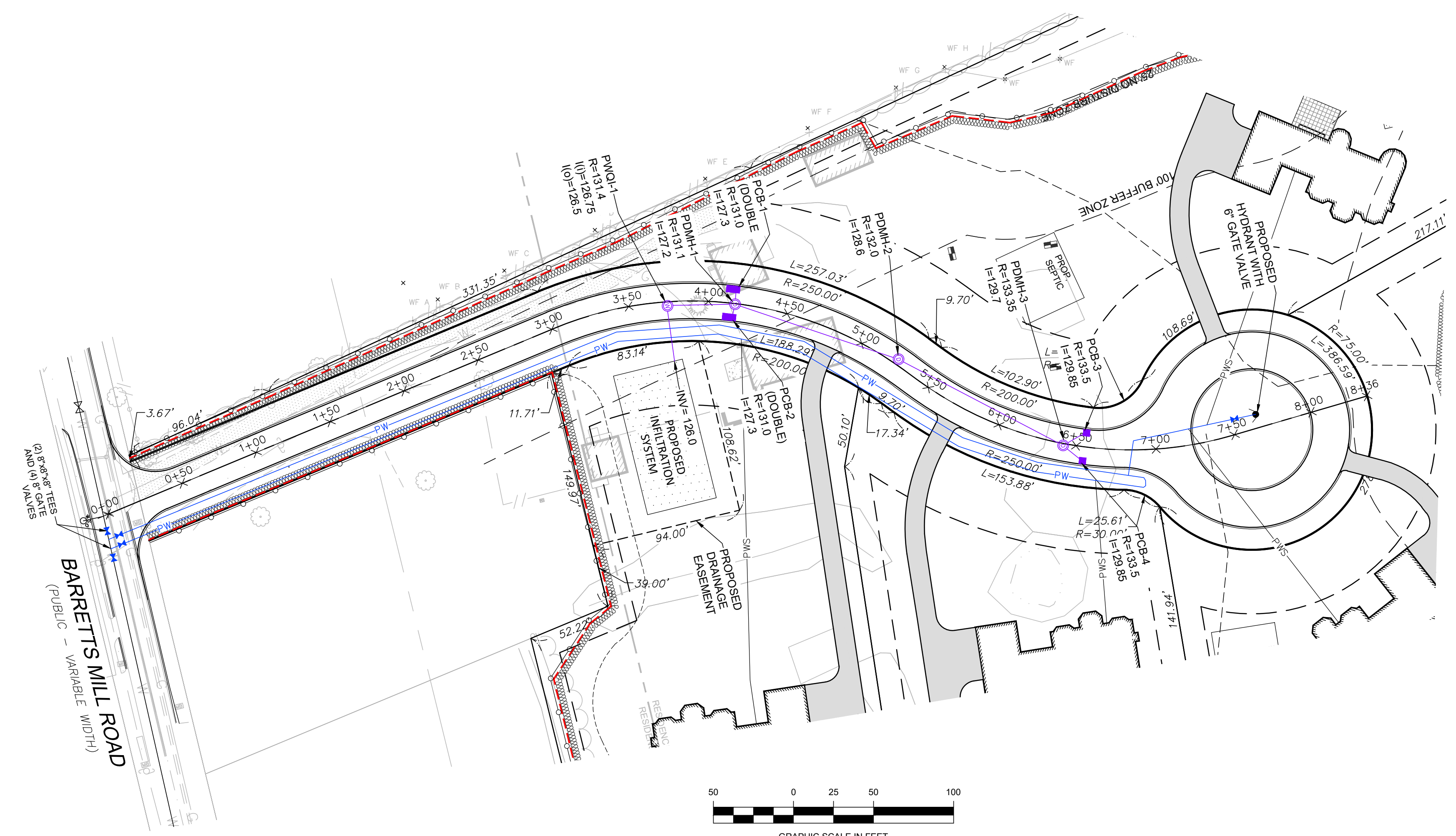
PATRIOT Engineering
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www.patriot-eng.com

SITE PLAN - UTILITY
LOCATED IN
CONCORD, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SA DEVELOPMENT

SHEET
C-6



PROFILE VIEW
SCALE: 1"=4' VERT.
1"=40' HOR.

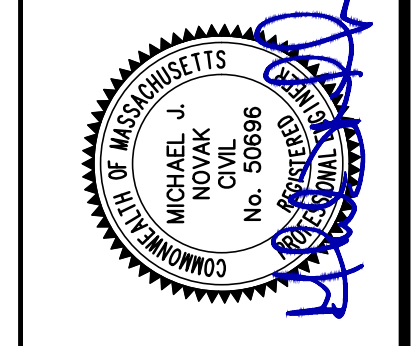


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

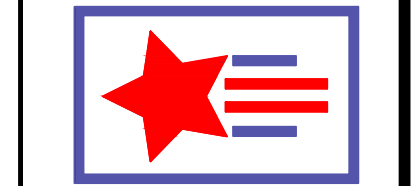
NOT FOR CONSTRUCTION

874 BARRETT'S MILL ROAD
CONCORD, MA

DATE	BY	DESCRIPTION
5-28-2025	MVC	REVISIONS PER COMMENTS



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UTILITY PROFILE
LOCATED IN
CONCORD, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SA DEVELOPMENT

SHEET
C-7

DRAWN BY: MVC
CHECKED BY: MIN
DATE: 5-14-2025

