



GENERAL SITE NOTES

- 1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL TOWNSHIP/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
8. THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
9. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
12. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE.
13. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES.
14. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN.
15. PROVIDE TEMPORARY CHAIN LINK FENCING, MINIMUM 6'-0" HIGH, AROUND ENTIRE AREA OF CONSTRUCTION.
16. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
19. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
20. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION.
21. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL CURB, BENCHES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED.
25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK.
27. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER RIPDES GENERIC PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.
28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT AND THE MASSACHUSETTS ACCESSIBILITY CODES.
29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE.
30. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION.
31. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE TOWNSHIP/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY SAID ENGINEER BY ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN.
5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS (IF APPLICABLE) AT THE AREA ADJACENT TO THE PROPOSED BUILDING.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
11. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN OF ALL UTILITIES.
13. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
14. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
15. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
16. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
17. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS.
18. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
19. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS.
20. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
21. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT.
22. AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
24. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE.
25. TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.

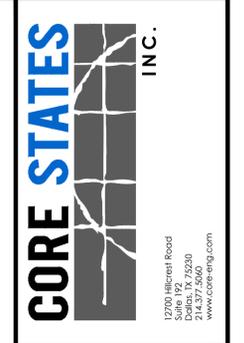
- 26. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
27. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH HOSE CONNECTIONS FACING THE BUILDING.
28. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE TOWNSHIP/COUNTY AND/OR FIRE DEPARTMENT.
29. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
30. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
31. CONNECTION INTO A EXISTING TOWNSHIP/COUNTY OWNED SYSTEM SHALL BE VIA A WET TAP. WET TAP CONNECTIONS SHALL BE PERFORMED BY THE CONTRACTOR (LICENSED DRAINLAYER APPROVED BY THE CONCORD WATER) SEWER DIVISION.
32. THE UTILITIES SERVICE COMPANY SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ONSITE.

GRADING NOTES

- 1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE TOWNSHIP.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD.
4. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
5. PRECAST STRUCTURES ARE REQUIRED.
6. STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
7. EXISTING CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
8. PROPOSED CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
11. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS.
12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE RIPDES OR APPLICABLE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
13. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
15. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
17. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
18. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
19. CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS.
20. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 2% MINIMUM SLOPE IN PERVIOUS AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.
21. FOLLOWING DEMOLITION, CLEARING/GRUBBING OPERATIONS, DESIGN CUTS, AND ADDITIONAL CUTTING TO REMOVE UNSUITABLE CONDITIONS AND PRIOR TO FILL PLACEMENT AND NEW CONSTRUCTION, THE ENTIRE SITE SHOULD BE PROOF-COMPACTED WITH MULTIPLE PERPENDICULAR PASSES OF A LARGE (15-TONSTATIC WEIGHT) VIBRATORY ROLLER TO COMPACT LOOSE, NEAR SURFACE SOILS.
22. CONTRACTOR TO ADD WATERPROOFING AT ALL LOCATIONS WHERE THE EXTERIOR GRADE IS PROPOSED ABOVE THE FINISHED FLOOR ELEVATION.

STANDARD ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like AC (ACRES), ADA (AMERICANS WITH DISABILITY ACT), ARCH (ARCHITECTURAL), BC (BOTTOM OF CURB), BF (BASEMENT FLOOR), BK (BLOCK), BL (BASELINE), BLD (BUILDING), BOL (BOLLARD), BM (BENCH MARK), BRL (BUILDING RESTRICTION LINE), CF (CUBIC FEET), CL (CENTERLINE), CMP (CORRUGATED METAL PIPE), CONC (CONCRETE), CPP (CORRUGATED PLASTIC PIPE), CY (CUBIC YARDS), DEC (DECORATIVE), DEP (DEPRESSED), DIP (DUCTILE IRON PIPE), DOM (DOMESTIC), ELEC (ELECTRIC), ELEV (ELEVATION), EP (EDGE OF PAVEMENT), ES (EDGE OF SHOULDER), EW (END OF WALL), EX (EXISTING), FES (FLARED END SECTION), FF (FINISH FLOOR ELEVATION), FH (FIRE HYDRANT), FG (FINISHED GRADE), G (GRADE), GF (GARAGE FLOOR), GH (GRADE HIGH SIDE OF WALL), GL (GRADE LOW SIDE OF WALL), GRT (GRATE), GV (GATE VALVE), HDPE (HIGH DENSITY POLYETHYLENE PIPE), HP (HIGH POINT), HOR (HORIZONTAL), HW (HEADWALL), INT (INTERSECTION), INV (INVERT), LF (LINEAR FOOT), LOC (LIMITS OF CLEARING), LOD (LIMITS OF DISTURBANCE), LOS (LINE OF SIGHT), LP (LOW POINT), LS (LANDSCAPE), MAX (MAXIMUM), MIN (MINIMUM), MH (MANHOLE), MJ (MECHANICAL JOINT), OC (ON CENTER), PC (POINT OF CURVATURE), PCCR (POINT OF COMPOUND CURVATURE, CURB RETURN), PI (POINT OF INTERSECTION), POG (POINT OF GRADE), POI (POINT OF INTEREST), PROP (PROPOSED), PT (POINT OF TANGENCY), PTRC (POINT OF TANGENCY, CURB RETURN), PVC (POLYVINYL CHLORIDE PIPE), PVI (POINT OF VERTICAL INTERSECTION), PVT (POINT OF VERTICAL TANGENCY), R (RADIUS), RCP (REINFORCED CONCRETE PIPE), RCPR (REINFORCED CONCRETE WITH RUBBER GASKET), RET-WALL (RETAINING WALL), RW (RIGHT OF WAY), S (SLOPE), SAN (SANITARY SEWER), SF (SQUARE FEET), STA (STATION), STM (STORM), TBR (TO BE REMOVED), TBRL (TO BE RELOCATED), TC (TOP OF CURB), TEL (TELEPHONE), TP (TREE PROTECTION), TW (TOP OF WALL), TYP (TYPICAL), UG (UNDERGROUND), UP (UTILITY POLE), WL (WATER LINE), WM (WATER METER), +/- (PLUS OR MINUS), ° (DEGREE), Ø (DIAMETER), # (NUMBER)



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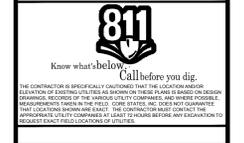
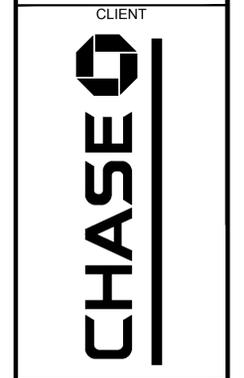
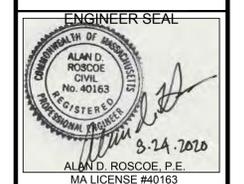
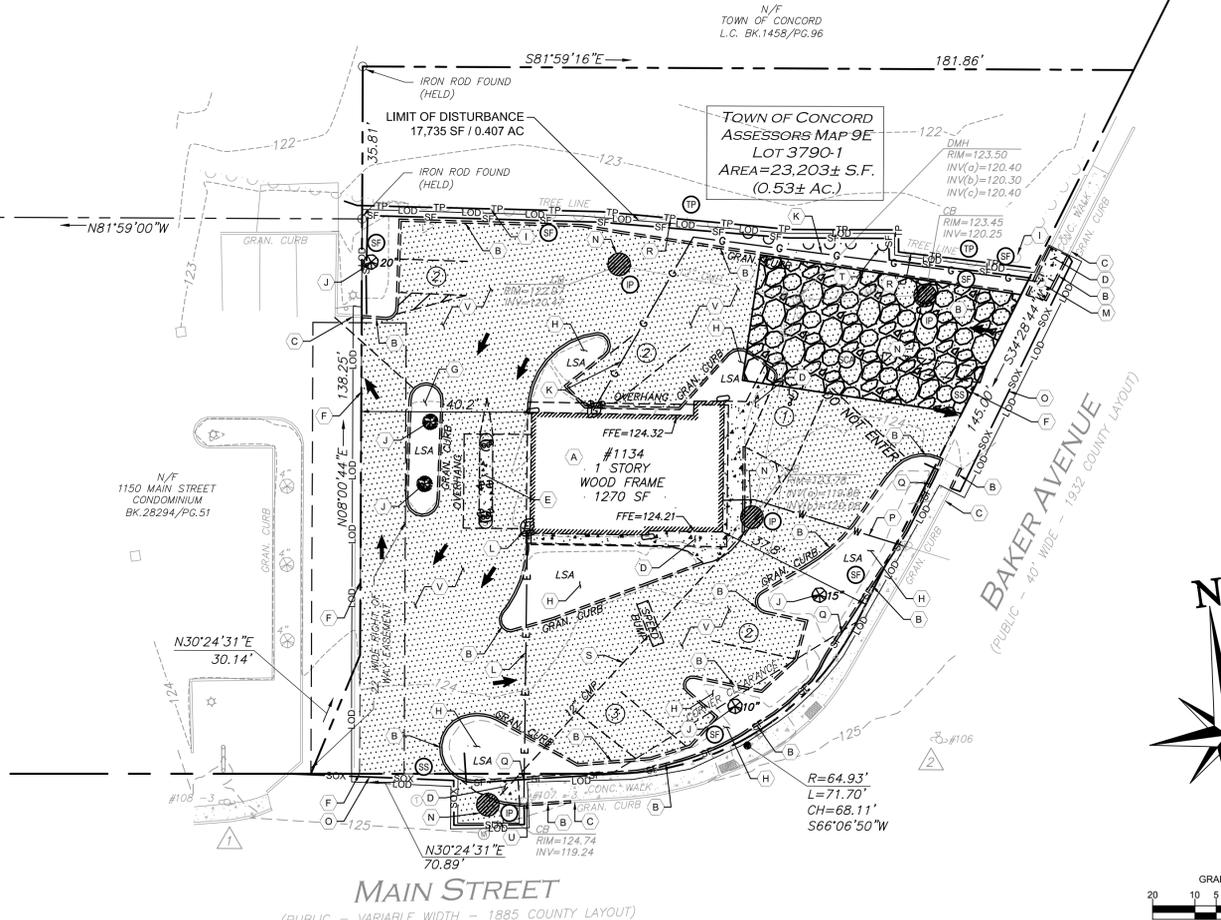


Table with 4 columns: REV, DATE, COMMENT, BY. Contains revision history for the site plan.

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK. SITE LOCATION MAIN STREET & BAKER AVENUE 1134 MAIN STREET CONCORD, MA 01742



SHEET TITLE GENERAL NOTES. JOB #: JPM-27599. DATE: 04/28/2020. SCALE: AS SHOWN. DRAWN BY: CC. CHECKED BY: TP. SHEET NO. CV-2



**DEMOLITION NOTES:**

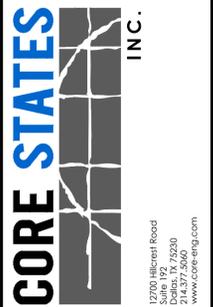
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND CODES AND OBTAIN ALL REQUIRED PERMITS FOR ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL CONTACT 811 DIG SAFELY BEFORE PERFORMING ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL INSTALL ALL CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
- ALL STRUCTURES, UTILITIES, SITE IMPROVEMENTS AND TREES DESIGNATED ON THE DRAWINGS OR DIRECTED BY THE ENGINEER TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY ALL CONSTRUCTION OPERATIONS. THIS SHALL BE ACCOMPLISHED BY ERECTING BARRIERS, GUARDS AND ENCLOSURES AS SHOWN ON THE DRAWINGS OR OTHER APPROVED MEANS. PROTECTION SHALL BE MAINTAINED UNTIL ALL WORK IN THE VICINITY OF THE WORK BEING PROTECTED HAS BEEN COMPLETED.
- ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL AUTHORITIES HAVING JURISDICTION) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
- ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, VEGETATION FROM CLEARING AND GRUBBING, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FOR ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR TO REPLACE ALL DEAD AND/OR DAMAGED SHRUBS IN KIND.
- ALL BELOW GRADE CONSTRUCTION INCLUDING BELOW- GRADE WALLS, SLABS AND TANKS ARE TO BE REMOVED.
- PLAN DEPICTS ALL KNOWN STRUCTURES AND UTILITIES ABOVE AND/OR UNDERGROUND. ADDITIONAL UNDERGROUND UTILITIES AND/OR STRUCTURES MAY EXIST. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD IF ADDITIONAL UTILITIES OR STRUCTURES ARE ENCOUNTERED AND COORDINATE WITH THE MUNICIPALITY OR UTILITY COMPANY FOR PROPER REMOVAL OR RELOCATION.
- THE TOTAL LIMITS OF DISTURBANCE FOR THIS PROJECT IS XX,XXX SF (X.XX AC).

**GENERAL NOTES:**

- THIS PROJECT REFERENCES A SURVEY PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY WOBURN, MA 01801
- DATE: JANUARY 30, 2020  
EXISTING CONDITIONS  
LOT 3790-1  
1134 MAIN STREET  
TOWN OF CONCORD  
COUNTY OF MIDDLESEX  
STATE OF MASSACHUSETTS

**KEYED NOTES:**

- EXISTING 1270 SF BUILDING AND CANOPIES TO BE REMOVED.
- EXISTING CURB TO BE REMOVED.
- LIMIT OF CURB REMOVAL. CONTRACTOR TO PROTECT IN PLACE EXISTING CURB AND REPAIR ANY DAMAGE DONE DURING CONSTRUCTION.
- EXISTING CONCRETE WALK TO BE REMOVED.
- EXISTING ATM, BOLLARDS, AND ATM ISLAND TO BE REMOVED.
- PROPOSED SAWCUT LINE.
- EXISTING LANDSCAPED ISLAND TO BE REMOVED.
- EXISTING LANDSCAPE TO BE REMOVED.
- EXISTING TREE LINE TO REMAIN.
- EXISTING TREE TO BE REMOVED. REFER TO LANDSCAPE PLANS.
- EXISTING GAS LINE AND METERS TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- EXISTING ELECTRICAL LINES AND METERS TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- EXISTING GAS STRUCTURE TO BE ADJUSTED TO FINAL GRADE. REFER TO GRADING PLAN.
- EXISTING STORM STRUCTURE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE. CONTRACTOR PATCH AND REPAIR AS NECESSARY DURING PIPE REMOVAL AND PROPOSED WORK.
- PROPOSED EROSION CONTROL SILT SOXX. SEE CONSTRUCTION DETAIL SHEETS.
- EXISTING WATER LINE TO BE REMOVED AND CAPPED. CONTRACTOR TO COORDINATE WATER LINE INSTALLATION WITH UTILITY COMPANY.
- PROPOSED EROSION CONTROL SILT FENCE. SEE CONSTRUCTION DETAIL SHEETS.
- PROPOSED TREE PROTECTION. SEE CONSTRUCTION DETAIL SHEETS.
- EXISTING STORM PIPE TO BE REMOVED.
- EXISTING TREE LINE TO BE REMOVED.
- EXISTING UTILITY POLE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED.



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**REVISIONS**

REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION MAIN STREET & BAKER AVENUE 1134 MAIN STREET CONCORD, MA 01742



SHEET TITLE DEMOLITION PLAN

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS NOTED
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO. C-1

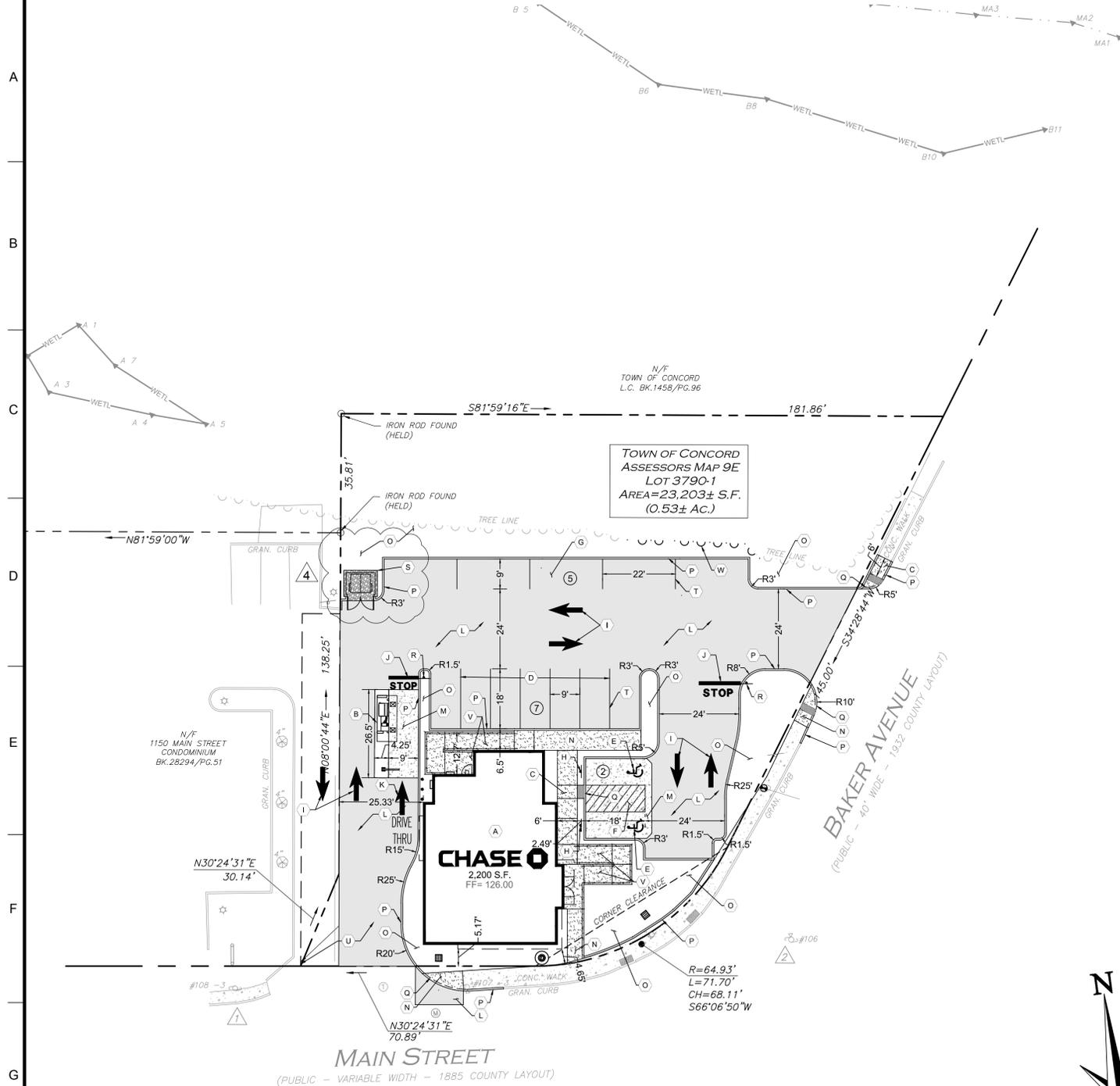
**ALERT TO CONTRACTOR:**  
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

**E & S LEGEND**

—SF—SF—	⊙	SILT FENCE (REFER TO CONSTRUCTION DETAIL SHEET.)
—SOX—SOX—	⊙	SILT SOXX (REFER TO CONSTRUCTION DETAIL SHEET.)
	⊙	INLET PROTECTION (REFER TO CONSTRUCTION DETAIL SHEET.)
	⊙	TREE PROTECTION (REFER TO CONSTRUCTION DETAIL SHEET.)
	⊙	STABILIZED CONSTRUCTION ENTRANCE (REFER TO CONSTRUCTION DETAIL SHEET)

**EXISTING LEGEND**

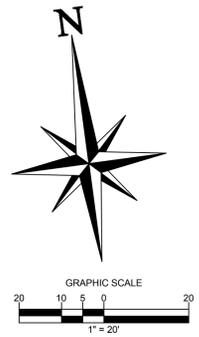
---	PROPERTY BOUNDARY LINE
---	CENTER LINE OF EXISTING ROADWAY
---	ADJOINING PROPERTY LINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
-x-x-x-x-x-	EXISTING FENCE
BLOCK 101	EXISTING BLOCK NUMBER
LOT 7	EXISTING LOT NUMBER
-185-	EXISTING 5' INTERVAL CONTOUR LINE
-186-	EXISTING 1' INTERVAL CONTOUR LINE
⊙	EXISTING TREE
G	EXISTING GAS MAIN
U	EXISTING UTILITY POLE
⊙	EXISTING STORM STRUCTURES
⊙	EXISTING SANITARY STRUCTURES
W	EXISTING WATER MAIN
⊙	EXISTING FIRE HYDRANT
E	EXISTING WATER VALVE
T	EXISTING UNDERGROUND ELECTRIC
OH	EXISTING TELEPHONE
—S—S—S—	EXISTING OVERHEAD WIRES
⊙	EXISTING SANITARY
⊙	EXISTING STORM
---	DEMO CURB
---	DEMO GRAVEL ROAD
---	DEMO ASPHALT
---	DEMO PROPERTY LINE
⊙	DEMO TREE
⊙	DEMO UTILITY POLE
---	PROPOSED SAWCUT LINE
---	LIMITS OF DISTURBANCE



TOWN OF CONCORD  
ASSESSORS MAP 9E  
LOT 3790-1  
AREA=23,203± S.F.  
(0.53± AC.)

**MAIN STREET**  
(PUBLIC - VARIABLE WIDTH - 1885 COUNTY LAYOUT)

**BAKER AVENUE**  
(PUBLIC - 40' WIDE - 1932 COUNTY LAYOUT)



ZONING DATA (WEST CONCORD BUSINESS DISTRICT- WCB) - LOT 3790-1				
ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
MIN. LOT AREA	-	23,203 SF	23,203 SF	COMPLIANT
MIN. LOT FRONTAGE	-	288 FT	288 FT	COMPLIANT
FRONTAGE EXCEPTION	-	N/A	N/A	COMPLIANT
MIN. LOT WIDTH	-	77.08 FT	77.08 FT	COMPLIANT
CORNER CLEARANCE	10 FEET*	N/A	-	COMPLIANT*
MIN. BUILDING FRONT SETBACK	0 FEET	37.8 FT	5.17 FT	COMPLIANT
MIN. REAR SETBACK	0 FEET	40.2 FT	25.33 FT	COMPLIANT
MAX. BUILDING HEIGHT	35 FEET**	N/A	26.3 FT	COMPLIANT
MAXIMUM LOT COVERAGE	-	57.67%	57.08%	COMPLIANT
MAXIMUM FLOOR TO AREA RATIO	-	5.57%	9.48%	COMPLIANT

**PARKING CALCULATIONS:**

**EXISTING:**  
LOT 3790-1 = 10 SPACES (TOTAL) (9 REG + 1 HC)

**PROPOSED:**  
LOT 3790-1 = 14 SPACES (TOTAL) (12 REG + 2 HC)  
1 SPACES PROVIDED AT DRIVE-UP ATM  
TOTAL = 15 SPACES PROVIDED

**REQUIRED:**  
MINIMUM ALLOWED:  
FOR BANK USE = 1 SPACE FOR 250 GFA + 2 SPACES PER ATM  
= 2,200 SF X 1 SPACE PER 250 SF = 9 SPACES  
= 2 INTERIOR ATMS X 2 SPACES PER ATM = 4 SPACES  
= 1 EXTERIOR ATMS X 2 SPACES PER ATM = 2 SPACES  
= 9 SPACES + 6 SPACES = 15 SPACES MINIMUM REQUIRED

\* = BETWEEN THE SIDELINES OF THE INTERSECTING STREETS AND A STRAIGHT LINE JOINING POINTS ON SUCH SIDELINES TEN (10) FEET DISTANT FROM THEIR POINT OF INTERSECTION OR, IN THE CASE OF A ROUNDED CORNER, A STRAIGHT LINE JOINING THE POINTS OF INTERSECTION OF THEIR TANGENTS, NO BUILDING OR STRUCTURE MAY BE ERRECTED AND NO VEGETATION MAY BE MAINTAINED THREE (3) FEET ABOVE THE PLANE THROUGH THEIR CURB GRADES.

\*\* = MAXIMUM HEIGHT IS 35 FEET AND MINIMUM HEIGHT SIDE AND REAR IS 15'. MINIMUM HEIGHT FOR FRONT FACADE IS 18'.

**GENERAL NOTES:**

- THIS PROJECT REFERENCES A SURVEY PREPARED BY:  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01801
- DATE: JANUARY 30, 2020  
EXISTING CONDITIONS  
LOT 3790-1  
1134 MAIN STREET  
TOWN OF CONCORD  
COUNTY OF MIDDLESEX  
STATE OF MASSACHUSETTS

**PROPERTY INFORMATION:**

- THIS DRAWING REFERENCES: 1134 MAIN STREET, TOWN OF CONCORD  
EXISTING CONDITIONS  
PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01801  
CONTACT: ANDREW RUGGLES  
(781) 935-8889
- PROPERTY OWNER: NIKOEL LLC.  
78 RHODE ISLAND AVENUE #3  
NEWPORT, RI 02840
- APPLICANT: J.P. MORGAN CHASE BANK  
1450 BRICKELL AVENUE 3RD FLOOR  
MIAMI, FL 33131  
CONTACT: CHRIS FOIT  
TEL: (786) 473-1769
- SITE ADDRESS: 1134 MAIN STREET  
CONCORD, MA 01742  
COUNTY OF MIDDLESEX
- ZONING DATA: ZONED: WEST CONCORD BUSINESS DISTRICT (WCB)  
FLOOD PLAIN CONSERVATION OVERLAY
- EXISTING USE: BANK (PERMITTED)  
PROPOSED USE: BANK (PERMITTED)  
: DRIVE THRU  
(SPECIAL USE APPROVAL, APPROVED BY TOWNSHIP)

NOTE: THE PROPOSED FORMULA BUSINESS USE (CHASE WITH DRIVE-UP ATM) FOR THIS PARCEL LOT MATCHES THE EXISTING FORMULA BUSINESS USE (EXISTING CITIZENS BANK WITH DRIVE-UP ATM) IN THE WEST CONCORD BUSINESS DISTRICT WHERE FORMULA BUSINESSES ARE LIMITED.

**KEYED NOTES:**

- PROPOSED CHASE BANK
- PROPOSED DRIVE-UP ATM
- PROPOSED A.D.A. COMPLIANT RAMP. SEE DETAIL SHEET.
- PROPOSED 9' X 18' PARKING SPACE.
- PROPOSED 8' X 18' ACCESSIBLE PARKING SPACE.
- PROPOSED 8' X 18' ACCESSIBLE PARKING AISLE.
- PROPOSED 9' X 22' PARALLEL PARKING SPACE.
- PROPOSED ACCESSIBLE PARKING SIGNAGE. SEE DETAIL SHEET.
- PROPOSED REFLECTIVE DIRECTIONAL STRIPING. SEE DETAIL SHEET.
- PROPOSED STOP BAR. SEE DETAIL SHEET.
- PROPOSED DRIVE-THRU ARROW.
- PROPOSED STANDARD DUTY PAVEMENT. SEE DETAIL SHEET.
- PROPOSED CONCRETE PAD. SEE DETAIL SHEET.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL SHEET.
- PROPOSED GRASSED/LANDSCAPED AREA.
- PROPOSED CONCRETE CURB. SEE DETAIL SHEET.
- PROPOSED FLUSH CURB. SEE DETAIL SHEET.
- PROPOSED 'STOP' SIGN. SEE DETAIL SHEET.
- PROPOSED DUMPSTER ENCLOSURE.
- PROPOSED PARKING SPACE STRIPING. SEE DETAIL SHEET.
- EXISTING 22-FT WIDE RIGHT-OF-WAY EASEMENT.
- PROPOSED RAISE RAMP WITH HANDRAILS. REFER TO TOWN OF CONCORD WHEELCHAIR RAMP DETAIL.
- PROPOSED TREE LINE.

**SITE LEGEND:**

- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- ===== EXISTING CURB
- ===== PROPOSED CURB
- ===== PROPOSED MOUNTABLE
- ===== PROPOSED BUILDING
- ===== PROPOSED ASPHALT PAVEMENT
- ===== PROPOSED CONCRETE PAD
- ===== PROPOSED CONCRETE SIDEWALK
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT

**ALERT TO CONTRACTOR:**

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**CORE STATES INC.**

1270 Haverhill Road  
Concord, MA 01730  
314.377.5060  
www.core-eng.com

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CLIENT

**CHASE**

**811**

Know what's below. Call before you dig.

**REVISIONS**

REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION  
**MAIN STREET & BAKER AVENUE**  
1134 MAIN STREET  
CONCORD, MA 01742

ENGINEER SEAL

ALAN D. ROSCOE  
CIVIL  
No. 40163  
REGISTERED PROFESSIONAL ENGINEER

3-24-2020  
ALAN D. ROSCOE, P.E.  
MA LICENSE #40163

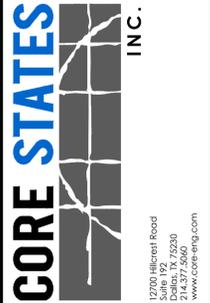
SITE PLAN

JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: AS SHOWN  
DRAWN BY: CC  
CHECKED BY: TP

SHEET NO.  
**C-2**

**GENERAL NOTES:**

- THIS PROJECT REFERENCES A SURVEY PREPARED BY:  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCIAL WAY  
WOBURN, MA 01801
- DATE: JANUARY 30, 2020  
EXISTING CONDITIONS  
LOT 3790-1  
1134 MAIN STREET  
TOWN OF CONCORD  
COUNTY OF MIDDLESEX  
STATE OF MASSACHUSETTS



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CLIENT

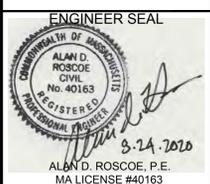


Know what's below. Call before you dig.  
The contractor is specifically cautioned that the location and location of existing utilities as shown on these plans are based on records and field verification. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

REVISIONS			
REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
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3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

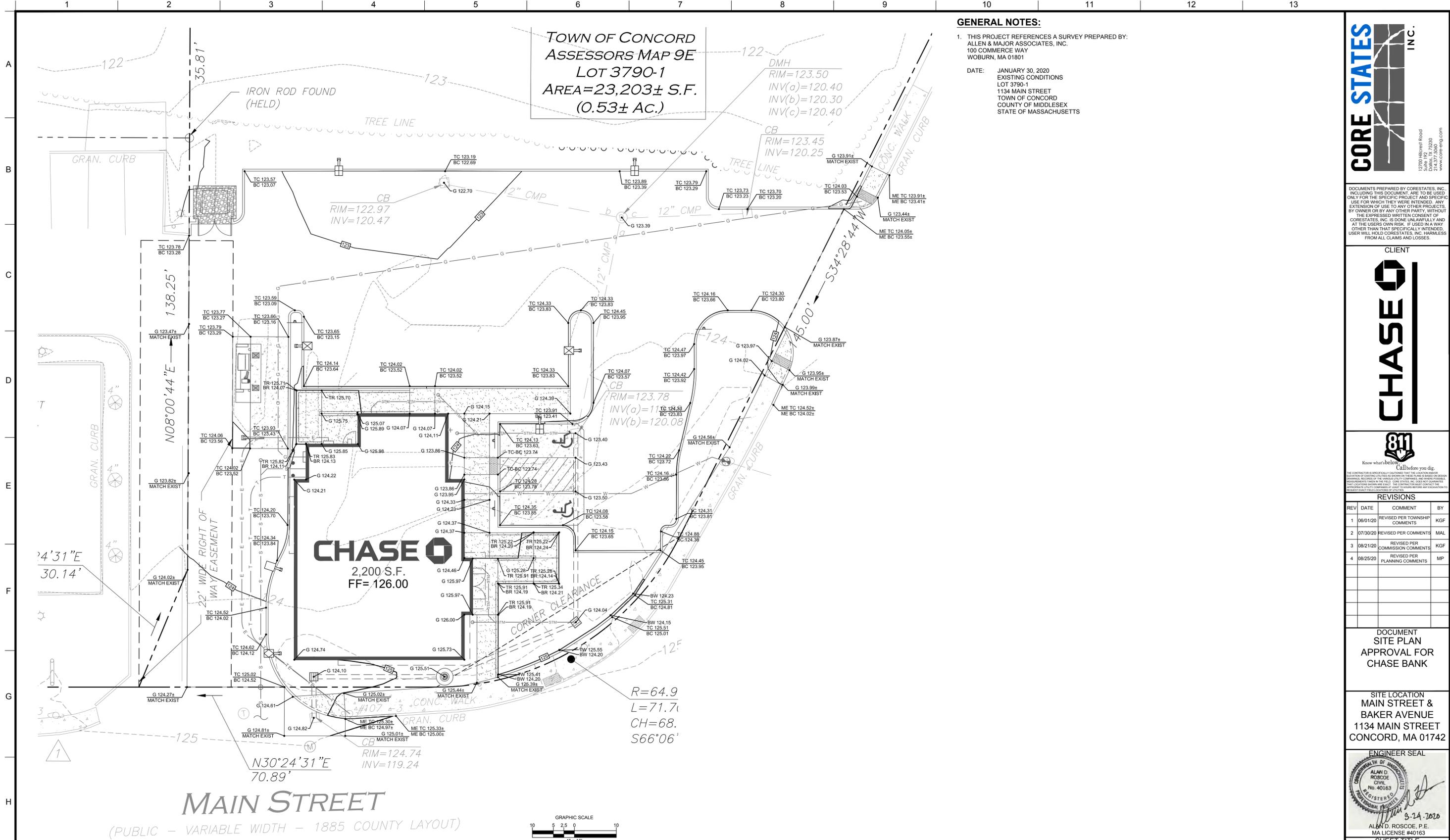


SHEET TITLE  
GRADING PLAN

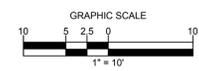
JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO.  
**C-3**

TOWN OF CONCORD  
ASSESSORS MAP 9E  
LOT 3790-1  
AREA=23,203± S.F.  
(0.53± Ac.)



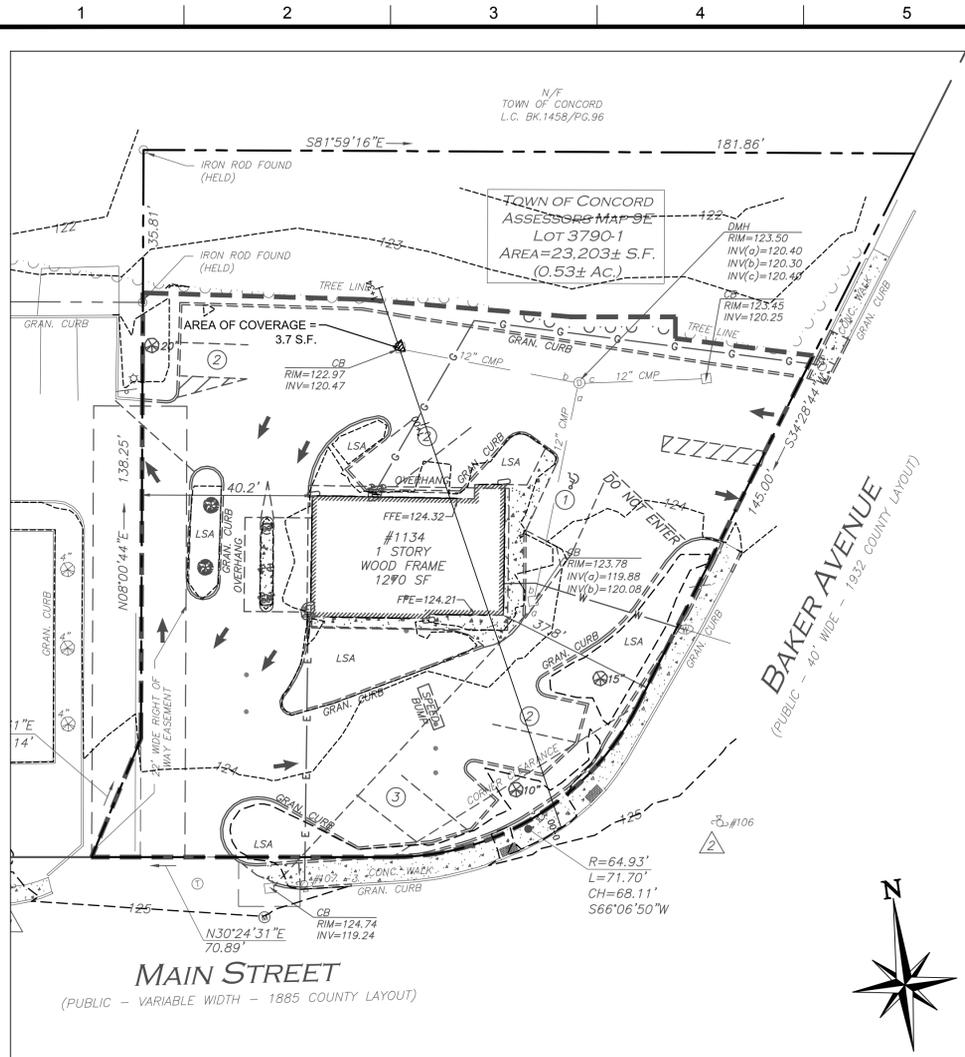
**MAIN STREET**  
(PUBLIC - VARIABLE WIDTH - 1885 COUNTY LAYOUT)



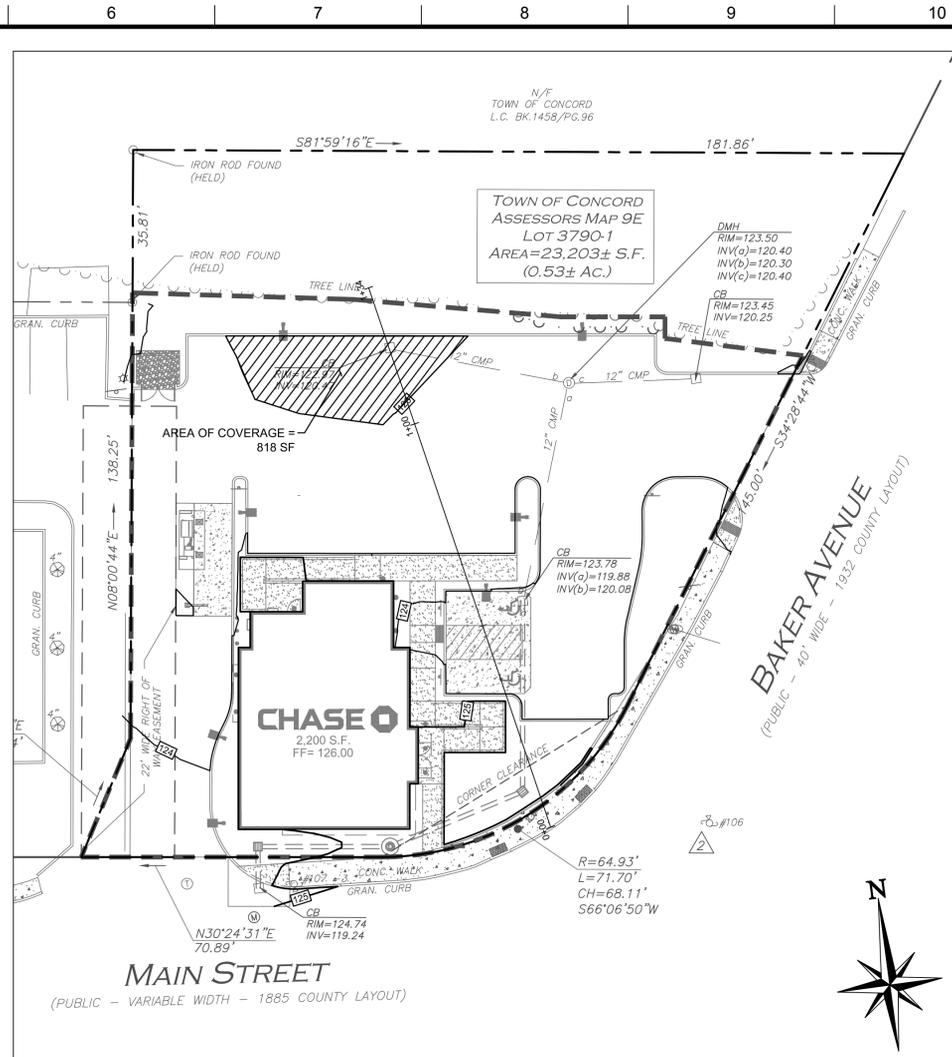
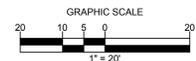
**GRADING LEGEND**

---	EXISTING PROPERTY BOUNDARY LINE
---	EXISTING ADJOINING PROPERTY LINE
---	EXISTING ROAD CENTERLINE
---	PROPOSED ROAD CENTERLINE
---	PROPOSED DITCH CENTERLINE
---	EXISTING 5' INTERVAL CONTOUR LINE
---	EXISTING 1' INTERVAL CONTOUR LINE
---	PROPOSED 5' INTERVAL CONTOUR LINE
---	PROPOSED 1' INTERVAL CONTOUR LINE
---	PROPOSED SPOT SHOTS

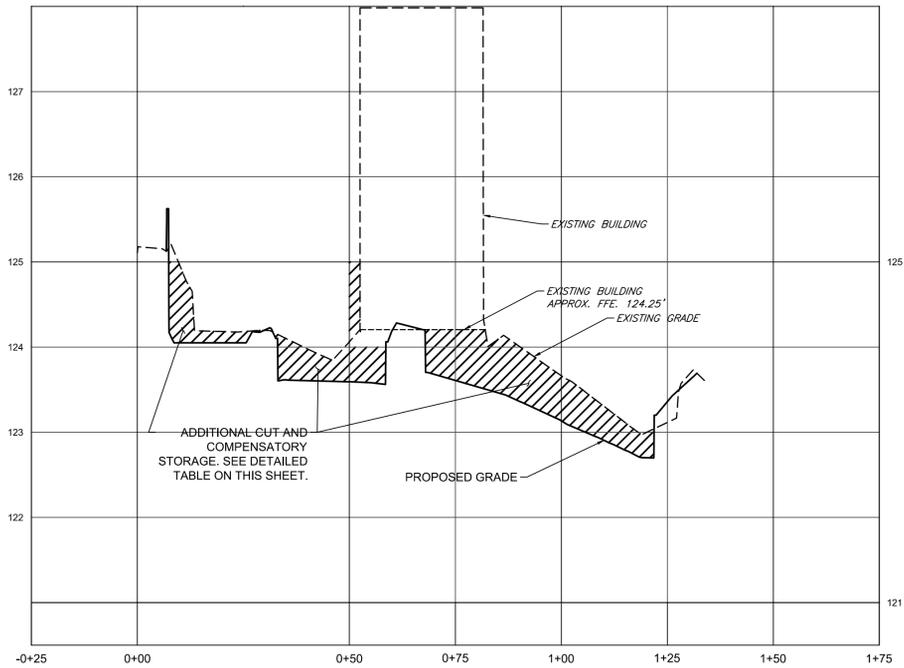
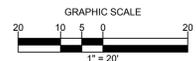
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122'-123' EXISTING CONDITION PLAN



122'-123' PROPOSED CONDITION PLAN



PROFILE A-A

SCALE  
VERTICAL 1" = 4'  
HORIZONTAL 1" = 20'

PROPERTY INFORMATION:

THIS DRAWING REFERENCES: 1134 MAIN STREET, TOWN OF CONCORD  
EXISTING CONDITIONS  
PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOUBURN, MA 01801  
CONTACT: ANDREW RUGGLES  
(781) 935-6889

PROPERTY OWNER: NIKOEL LLC.  
78 RHODE ISLAND AVENUE #3  
NEWPORT, RI 02840

APPLICANT: J.P. MORGAN CHASE BANK  
1450 BRICKELL AVENUE 3RD FLOOR  
MIAMI, FL 33131  
CONTACT: CHRIS FOIT  
TEL: (786) 473-1769

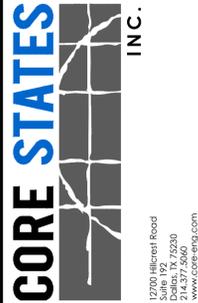
SITE ADDRESS: 1134 MAIN STREET  
CONCORD, MA 01742  
COUNTY OF MIDDLESEX

ZONING DATA: ZONED: WEST CONCORD BUSINESS DISTRICT (WCB)  
FLOOD PLAIN CONSERVANCY OVERLAY

EXISTING USE: BANK (PERMITTED)  
PROPOSED USE: BANK (PERMITTED)  
DRIVE THROUGH  
(SPECIAL USE APPROVAL - APPROVED BY TOWNSHIP)

CUT & FILL OF EXISTING AND PROPOSED (ANALYZED WITHIN LIMIT OF DISTURBANCE)			
	FILL (C.Y.)	CUT (C.Y.)	NET CHANGE (C.Y.)
124' - 125' ELEV.	73.1*	76.21	+3.11
123' - 124' ELEV.	14.0	101.7	+87.7
122' - 123' ELEV.	0	2.8	+2.8
TOTAL	87.1	180.71	+93.61

\*CUT & FILL DATA INCLUDES STORAGE BENEATH ACCESSIBLE RAMPS. THIS ACCOMMODATION ACCOUNTS FOR APPROXIMATELY 10.83 C.Y. OF STORAGE.



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS THE POLICY OF CORE STATES, INC. TO HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

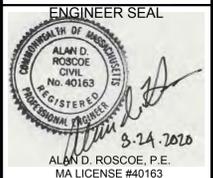


THE CONTRACTOR IS SPECIALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS OR OTHER INFORMATION TAKEN IN THE FIELD BY CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

REVISIONS			
REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

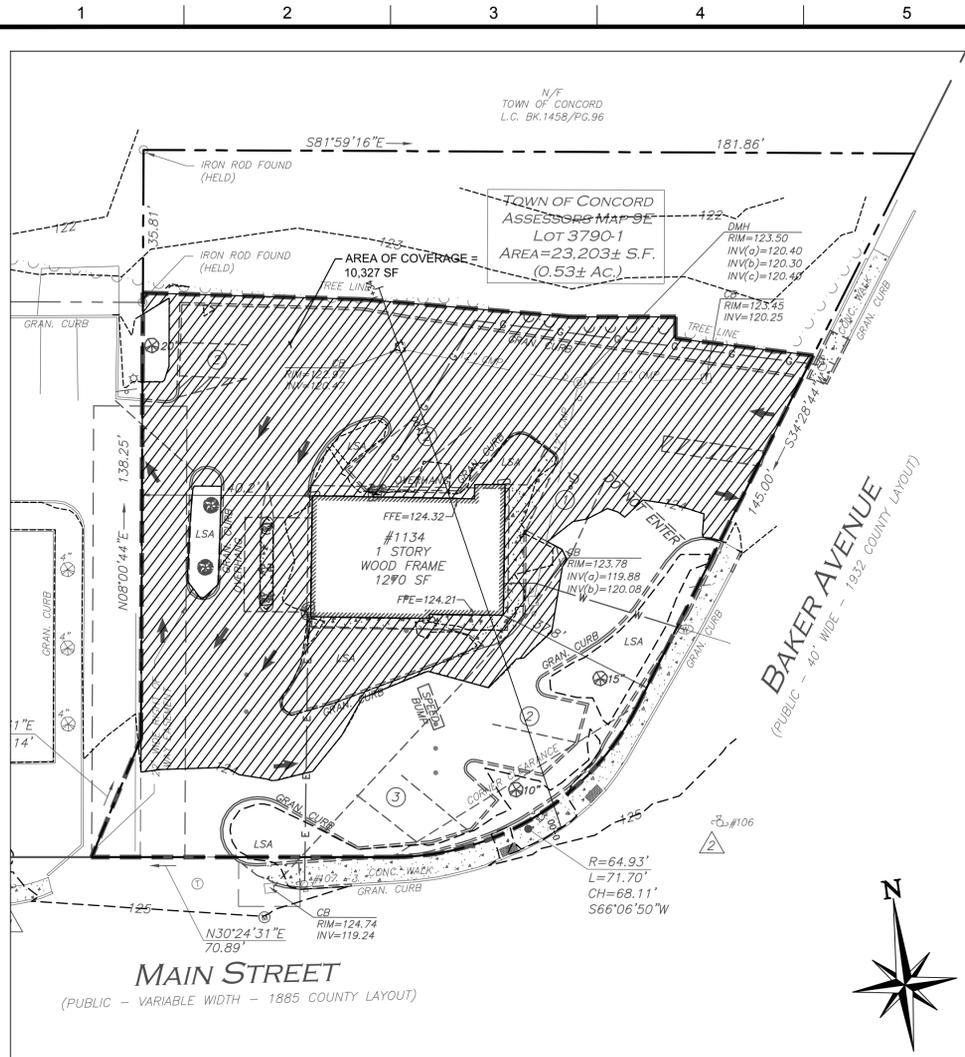


SHEET TITLE  
EXISTING & PROPOSED 122' - 123' FLOOD STORAGE

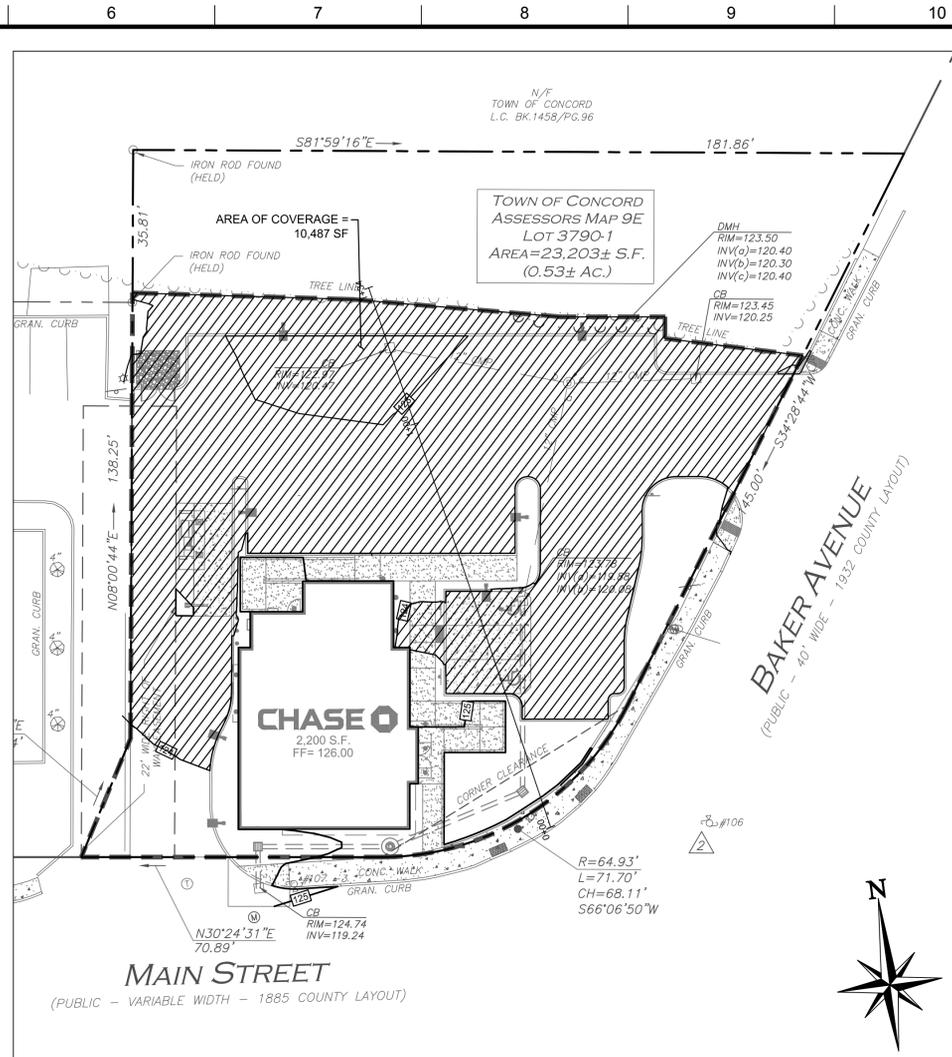
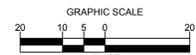
JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: 1" = 20'  
DRAWN BY: CC  
CHECKED BY: TP

SHEET NO.  
C-3.1

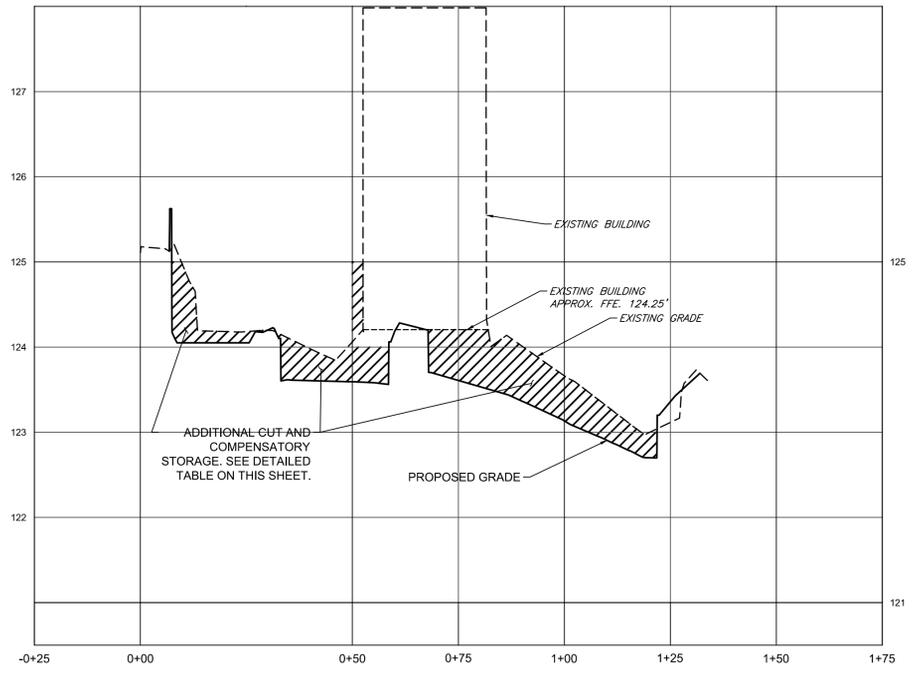
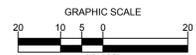
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123'-124' EXISTING CONDITION PLAN



123'-124' PROPOSED CONDITION PLAN



PROFILE A-A

SCALE  
VERTICAL 1" = 1'  
HORIZONTAL 1" = 20'

**ALERT TO CONTRACTOR:**  
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**PROPERTY INFORMATION:**  
THIS DRAWING REFERENCES: 1134 MAIN STREET, TOWN OF CONCORD EXISTING CONDITIONS PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY WOBURN, MA 01801 CONTACT: ANDREW RUGGLES (781) 935-6889  
PROPERTY OWNER: NIKOEL LLC. 78 RHODE ISLAND AVENUE #3 NEWPORT, RI 02840  
APPLICANT: J.P. MORGAN CHASE BANK 1450 BRICKELL AVENUE 3RD FLOOR MIAMI, FL 33131 CONTACT: CHRIS FOIT TEL: (786) 473-1769  
SITE ADDRESS: 1134 MAIN STREET CONCORD, MA 01742 COUNTY OF MIDDLESEX  
ZONING DATA: ZONED: WEST CONCORD BUSINESS DISTRICT (WCB) FLOOD PLAIN CONSERVANCY OVERLAY  
EXISTING USE: BANK (PERMITTED)  
PROPOSED USE: BANK (PERMITTED)  
DRIVE THROUGH  
(SPECIAL USE APPROVAL - APPROVED BY TOWNSHIP)

**CUT & FILL OF EXISTING AND PROPOSED**  
(ANALYZED WITHIN LIMIT OF DISTURBANCE)

	FILL (C.Y.)	CUT (C.Y.)	NET CHANGE (C.Y.)
124' - 125' ELEV.	73.1*	76.21	+3.11
123' - 124' ELEV.	14.0	101.7	+87.7
122' - 123' ELEV.	0	2.8	+2.8
TOTAL	87.1	180.71	+93.61

\*CUT & FILL DATA INCLUDES STORAGE BENEATH ACCESSIBLE RAMPS. THIS ACCOMMODATION ACCOUNTS FOR APPROXIMATELY 10.83 C.Y. OF STORAGE.

**LEGEND**

- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- ==== EXISTING CURB
- ==== PROPOSED CURB
- ==== PROPOSED MOUNTABLE
- ==== PROPOSED BUILDING
- ==== PROPOSED CONCRETE
- 165' --- EXISTING 5' INTERVAL CONTOUR LINE
- 166' --- EXISTING 1' INTERVAL CONTOUR LINE
- 165' --- PROPOSED 5' INTERVAL CONTOUR LINE
- 168' --- PROPOSED 1' INTERVAL CONTOUR LINE

**CORE STATES INC.**  
1270 Herbert Road  
Dorset, MA 01922  
314.877.5040  
www.core-eng.com

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**CLIENT**  
**CHASE**  
Know what's below. Call before you dig.

**REVISIONS**

REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

**DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK**

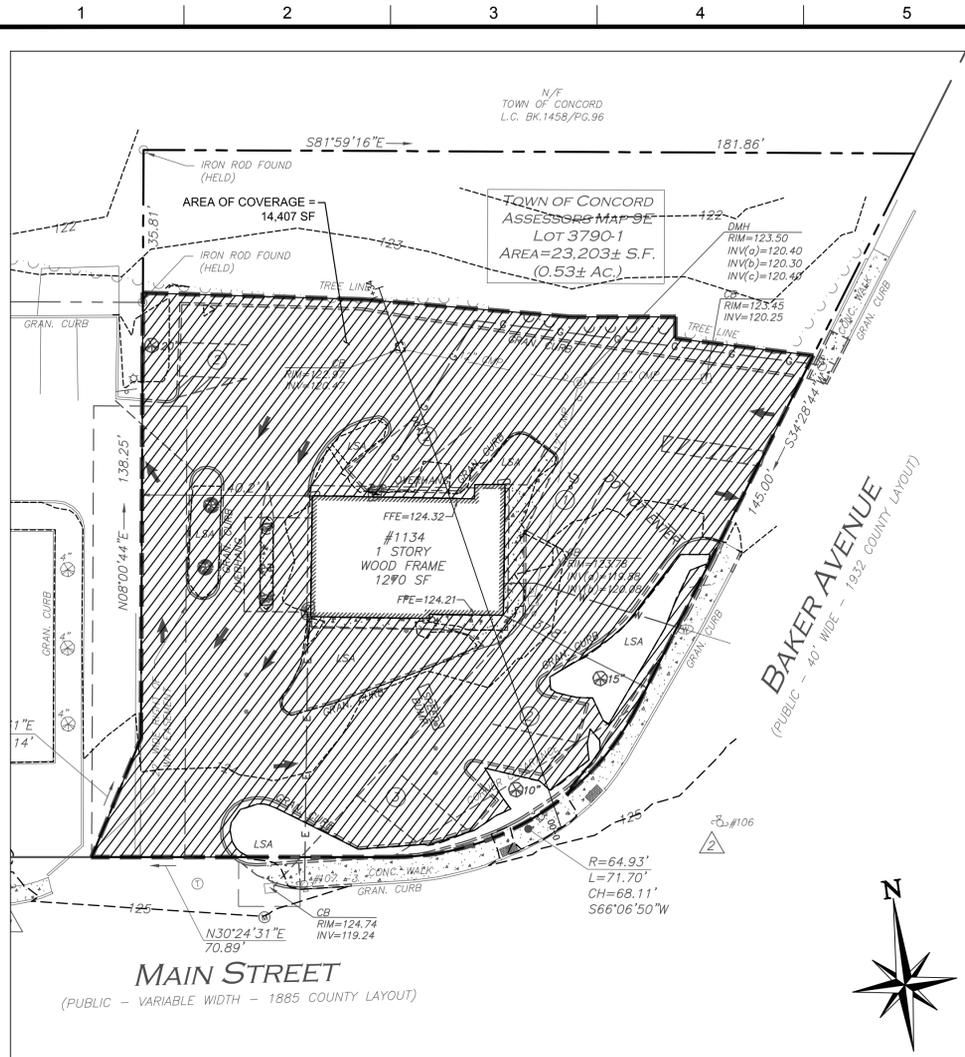
**SITE LOCATION**  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

**ENGINEER SEAL**  
ALAN D. ROSCOE  
CIVIL  
No. 40163  
REGISTERED PROFESSIONAL ENGINEER  
MASSACHUSETTS  
8-24-2020  
ALAN D. ROSCOE, P.E.  
MA LICENSE #40163

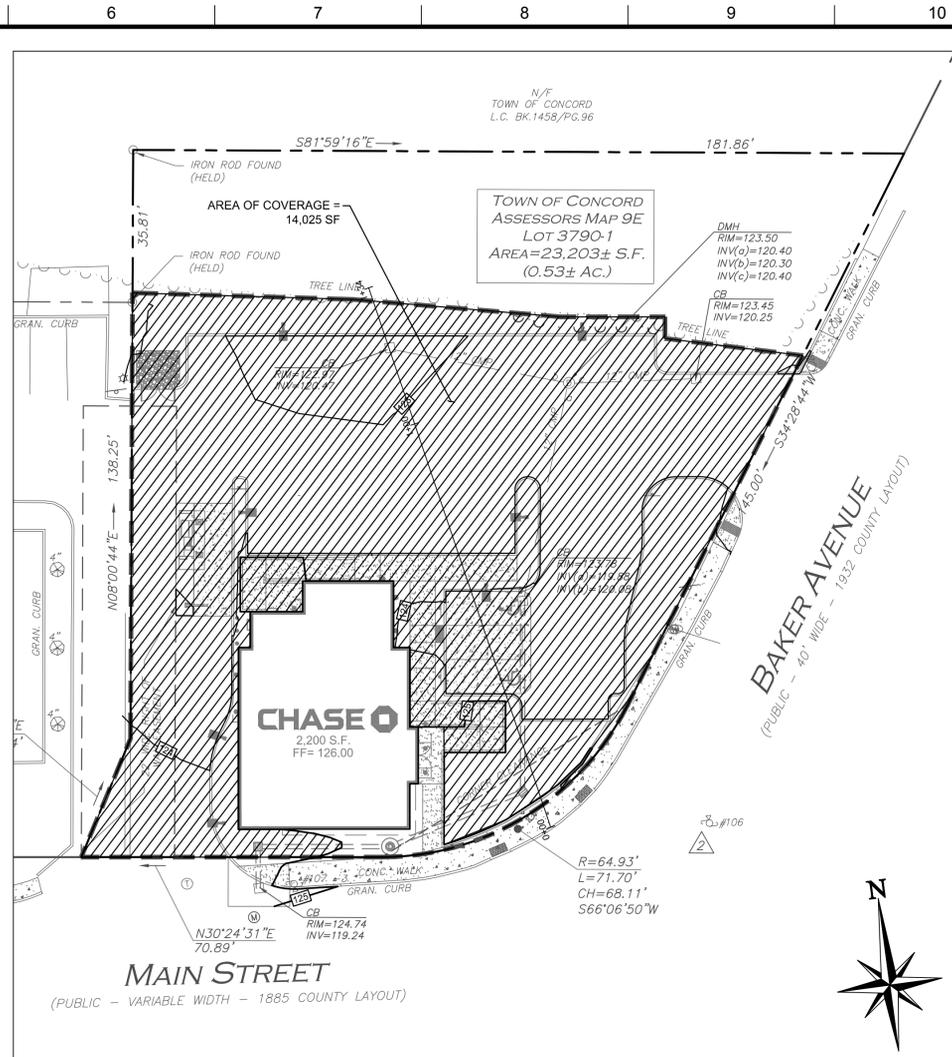
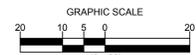
**SHEET TITLE**  
EXISTING & PROPOSED 123' - 124' FLOOD STORAGE

JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: 1" = 20'  
DRAWN BY: CC  
CHECKED BY: TP

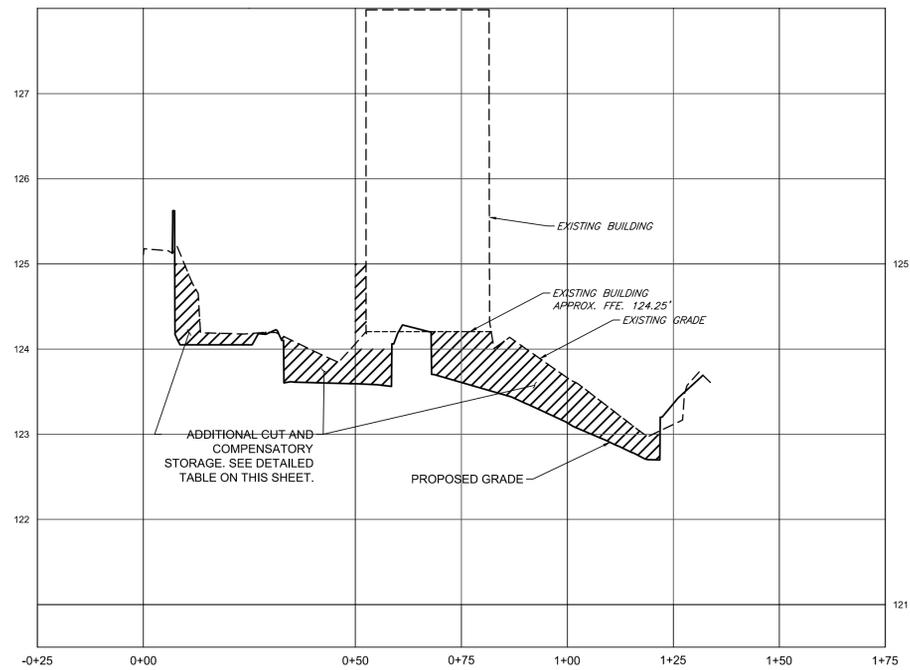
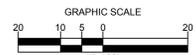
**C-3.2**



124'-125' EXISTING CONDITION PLAN



124'-125' PROPOSED CONDITION PLAN



PROFILE A-A

SCALE  
VERTICAL 1" = 1'  
HORIZONTAL 1" = 20'

**ALERT TO CONTRACTOR:**  
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**PROPERTY INFORMATION:**  
THIS DRAWING REFERENCES: 1134 MAIN STREET, TOWN OF CONCORD EXISTING CONDITIONS PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY WOBURN, MA 01801 CONTACT: ANDREW RUGGLES (781) 935-6889  
PROPERTY OWNER: NIKOEL LLC. 78 RHODE ISLAND AVENUE #3 NEWPORT, RI 02840  
APPLICANT: J.P. MORGAN CHASE BANK 1450 BRICKELL AVENUE 3RD FLOOR MIAMI, FL 33131 CONTACT: CHRIS FOIT TEL: (786) 473-1769  
SITE ADDRESS: 1134 MAIN STREET CONCORD, MA 01742 COUNTY OF MIDDLESEX  
ZONING DATA: ZONED: WEST CONCORD BUSINESS DISTRICT (WCB) FLOOD PLAIN CONSERVANCY OVERLAY  
EXISTING USE: BANK (PERMITTED)  
PROPOSED USE: BANK (PERMITTED)  
DRIVE THROUGH  
(SPECIAL USE APPROVAL - APPROVED BY TOWNSHIP)

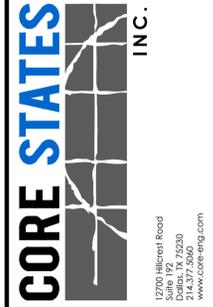
**CUT & FILL OF EXISTING AND PROPOSED**  
(ANALYZED WITHIN LIMIT OF DISTURBANCE)

	FILL (C.Y.)	CUT (C.Y.)	NET CHANGE (C.Y.)
124' - 125' ELEV.	73.1*	76.21	+3.11
123' - 124' ELEV.	14.0	101.7	+87.7
122' - 123' ELEV.	0	2.8	+2.8
TOTAL	87.1	180.71	+93.61

\*CUT & FILL DATA INCLUDES STORAGE BENEATH ACCESSIBLE RAMPS. THIS ACCOMMODATION ACCOUNTS FOR APPROXIMATELY 10.83 C.Y. OF STORAGE.

**LEGEND**

- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- ==== EXISTING CURB
- ==== PROPOSED CURB
- ==== PROPOSED MOUNTABLE
- ==== PROPOSED BUILDING
- ==== PROPOSED CONCRETE
- 165' --- EXISTING 5' INTERVAL CONTOUR LINE
- 166' --- EXISTING 1' INTERVAL CONTOUR LINE
- 165' --- PROPOSED 5' INTERVAL CONTOUR LINE
- 168' --- PROPOSED 1' INTERVAL CONTOUR LINE



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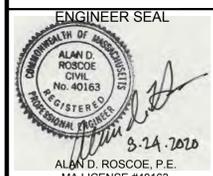


**REVISIONS**

REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
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4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION MAIN STREET & BAKER AVENUE 1134 MAIN STREET CONCORD, MA 01742



SHEET TITLE EXISTING & PROPOSED 124' - 125' FLOOD STORAGE

JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: 1" = 20'  
DRAWN BY: CC  
CHECKED BY: TP

SHEET NO. C-3.3

A  
B  
C  
D  
E  
F  
G  
H  
I

**GENERAL NOTES:**

- THIS PROJECT REFERENCES A SURVEY PREPARED BY:  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01801

DATE: JANUARY 30, 2020  
EXISTING CONDITIONS  
LOT 3790-1  
1134 MAIN STREET  
TOWN OF CONCORD  
COUNTY OF MIDDLESEX  
STATE OF MASSACHUSETTS

**CORE STATES**  
INC.

1270 Haverhill Road  
Dorset, MA 01920  
314.377.5660  
www.core-eng.com

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CLIENT

**CHASE**

**811**

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REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
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3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT  
SITE PLAN  
APPROVAL FOR  
CHASE BANK

SITE LOCATION  
MAIN STREET &  
BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

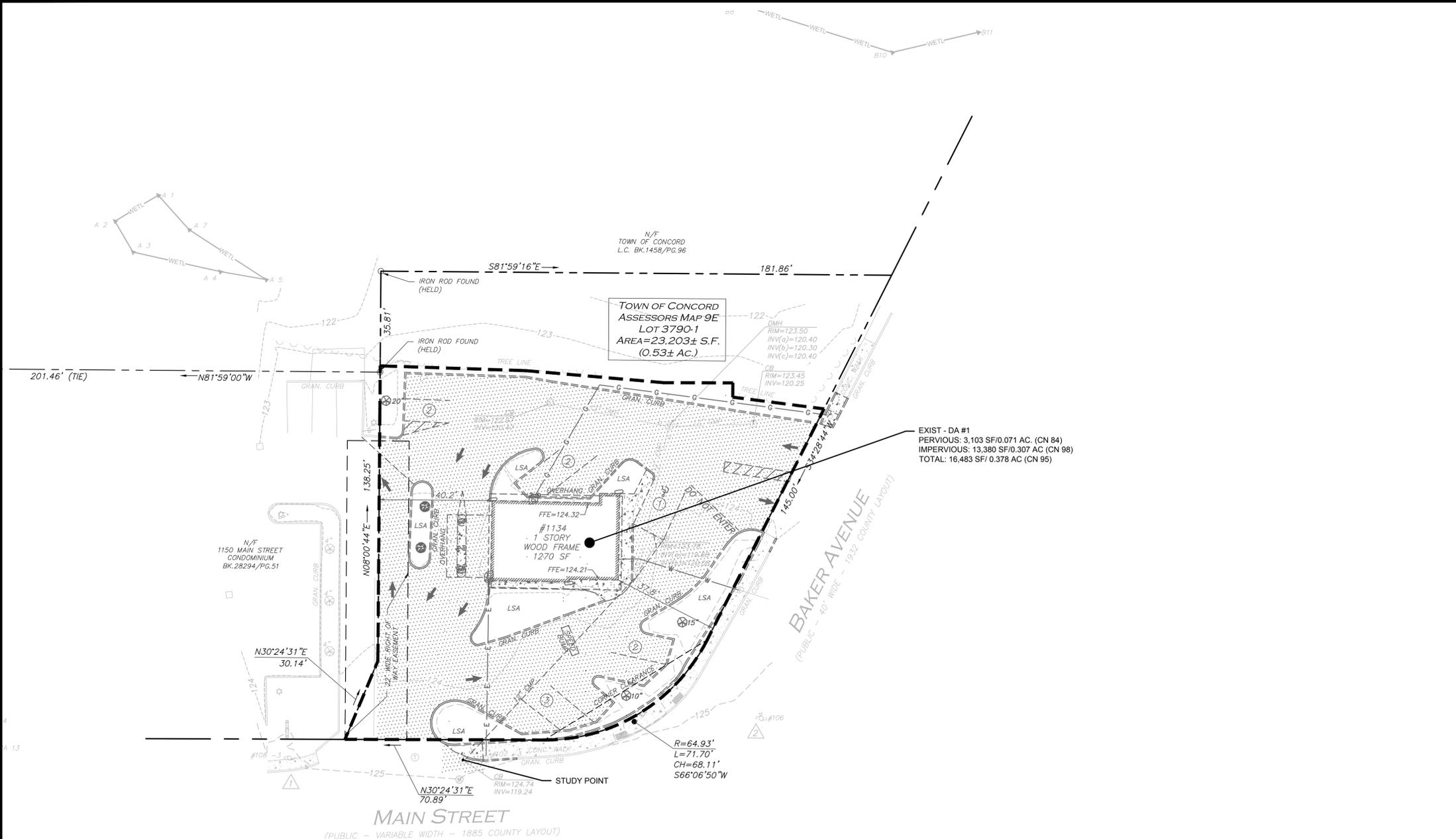
ENGINEER SEAL

ALAN D. ROSCOE, P.E.  
MA LICENSE #40163

SHEET TITLE  
**PRE-DEVELOPMENT  
DRAINAGE PLAN**

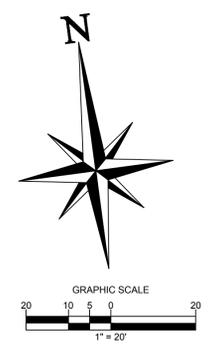
JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: AS NOTED  
DRAWN BY: CC  
CHECKED BY: TP

SHEET NO.  
**C-4**



**EXISTING LEGEND**

	PROPERTY BOUNDARY LINE
	CENTER LINE OF EXISTING ROADWAY
	ADJOINING PROPERTY LINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING BLOCK NUMBER
	EXISTING LOT NUMBER
	EXISTING 5' INTERVAL CONTOUR LINE
	EXISTING 1' INTERVAL CONTOUR LINE
	EXISTING TREE
	EXISTING GAS MAIN
	EXISTING UTILITY POLE
	EXISTING STORM STRUCTURES
	EXISTING SANITARY STRUCTURES
	EXISTING WATER MAIN
	EXISTING FIRE HYDRANT
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TELEPHONE
	EXISTING OVERHEAD WIRES
	EXISTING SANITARY
	EXISTING STORM
	DEMO CURB
	DEMO GRAVEL ROAD
	DEMO ASPHALT
	DEMO PROPERTY LINE
	DEMO TREE
	DEMO UTILITY POLE
	EXISTING DRAINAGE LINE



**ALERT TO CONTRACTOR:**

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**GENERAL NOTES:**  
 1. THIS PROJECT REFERENCES A SURVEY PREPARED BY:  
 ALLEN & MAJOR ASSOCIATES, INC.  
 100 COMMERCE WAY  
 WOBURN, MA 01801  
 DATE: JANUARY 30, 2020  
 EXISTING CONDITIONS  
 LOT 3790-1  
 1134 MAIN STREET  
 TOWN OF CONCORD  
 COUNTY OF MIDDLESEX  
 STATE OF MASSACHUSETTS

**CORE STATES**  
 INC.  
 1270 Haverhill Road  
 Concord, MA 01730  
 314.377.5660  
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CLIENT  
**CHASE**

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REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
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4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT  
 SITE PLAN  
 APPROVAL FOR  
 CHASE BANK

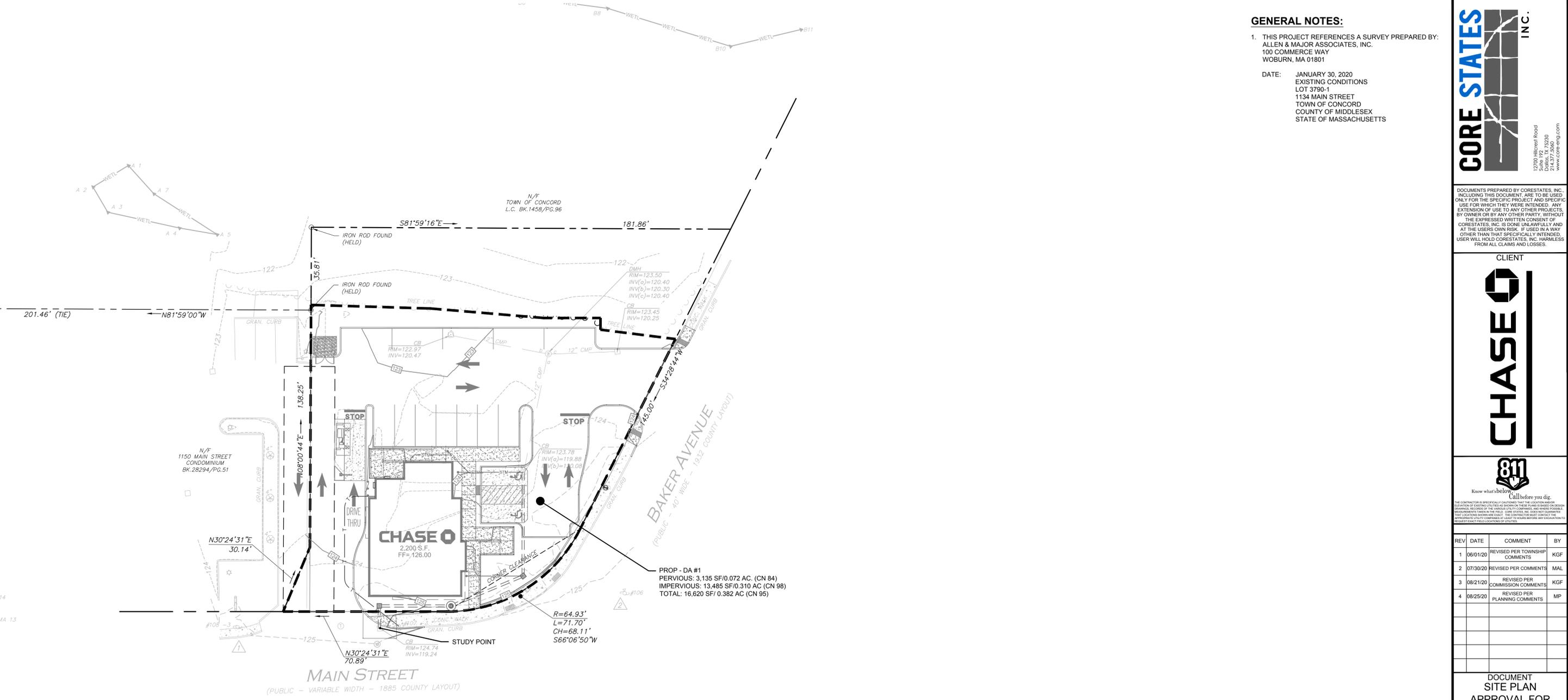
SITE LOCATION  
 MAIN STREET &  
 BAKER AVENUE  
 1134 MAIN STREET  
 CONCORD, MA 01742

ENGINEER SEAL  
  
 ALAN D. ROSCOE, P.E.  
 MA LICENSE #40163

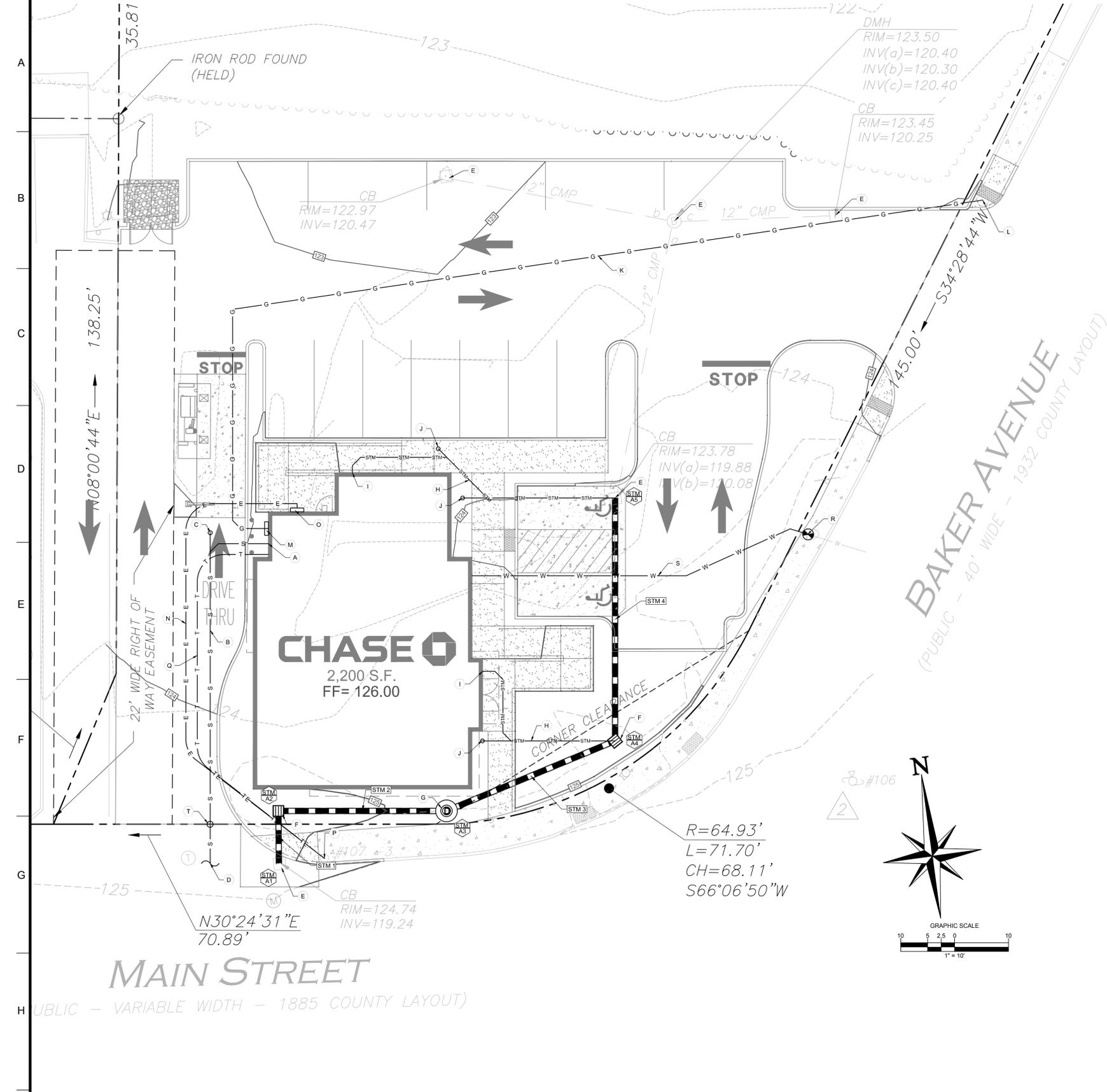
SHEET TITLE  
 POST-DEVELOPMENT  
 DRAINAGE PLAN

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO.  
**C-5**



**ALERT TO CONTRACTOR:**  
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**GENERAL NOTES:**

- THIS PROJECT REFERENCES A SURVEY PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY WOBURN, MA 01801
- DATE: JANUARY 30, 2020 EXISTING CONDITIONS LOT 3790-1 1134 MAIN STREET TOWN OF CONCORD COUNTY OF MIDDLESEX STATE OF MASSACHUSETTS

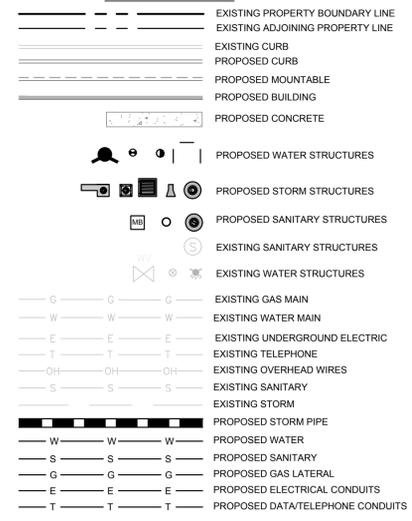
**KEYED NOTES:** xx

- PROPOSED SANITARY LATERAL BUILDING CONNECTION MINIMUM INVERT 122.00'
- PROPOSED 6" SDR-26 PVC SANITARY LATERAL TO BE AT A MINIMUM OF 1.0% SLOPE
- PROPOSED SANITARY CLEANOUT
- EXISTING SEWER CONNECTION FROM NEW CLEAN-OUT WITHIN MAIN STREET TO BE RE-LINED TO THE MAIN SEWER TO REDUCE THE NEED FOR TRENCHING ACROSS MAIN STREET. THIS PROCEDURE SHALL BE FOLLOWED WITH THE APPROVAL OF THE CONCORD WATER/SEWER DEPARTMENT.
- EXISTING STORM STRUCTURE TO BE RESET AT NEW GRADES. SEE GRADING PLAN FOR RIM ELEVATIONS.
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED 4" SCH 40 PVC UNDERGROUND ROOF DRAINS AT A MINIMUM SLOPE OF 1.0%
- PROPOSED ROOF DRAIN BUILDING CONNECTION MINIMUM INVERT 121.50'
- PROPOSED ROOF DRAIN CLEANOUT
- PROPOSED GAS LATERAL
- PROPOSED GAS CONNECTION TO EXISTING GAS VALVE. CONTRACTOR TO COORDINATE FINAL TERMINATION POINT WITH UTILITY COMPANY PRIOR TO ANY WORK
- PROPOSED GAS METER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO ANY WORK
- PROPOSED 4" CONDUIT FOR ELECTRICAL SERVICE. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
- PROPOSED ELECTRICAL EQUIPMENT TO BE PLACED AT A MINIMUM OF ELEV. 126, ONE FOOT ABOVE FLOOD PLAIN
- PROPOSED ELECTRICAL AND DATA POINT OF CONNECTION AT EXISTING UTILITY POLE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO ANY WORK COMMENCING
- PROPOSED 2-2" CONDUITS FOR TELECOMMUNICATION SERVICE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO ANY COMMENCEMENT OF WORK
- PROPOSED DOMESTIC WATER SERVICE LATERAL TO CONNECT TO PROPOSED WATER VALVE BOX AND CURB STOP
- PROPOSED 1-1/2" DOMESTIC WATER SERVICE
- PROPOSED SEWER CLEAN-OUT

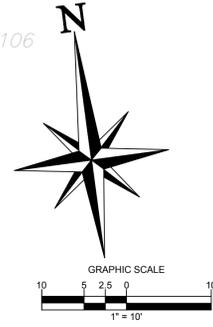
**UTILITY NOTES:**

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND /OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
- MINIMUM HORIZONTAL SEPARATION OF 10 FEET REQUIRED BETWEEN SANITARY SEWER AND WATER LINES.
- MINIMUM VERTICAL SEPARATION OF 2 FEET REQUIRED BETWEEN SANITARY SEWER AND WATER LINES
- CONTRACTOR TO EVALUATE THE CONDITION OF THE EXISTING WATER CONNECTION FOR REUSE PRIOR TO CONSTRUCTION.
- NOT USED.
- CONTRACTOR TO PROVIDE POWER CONNECTIONS TO SITE LIGHTING AND BUILDING SIGNS AS REQUIRED.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 3 FEET OF COVER FOR ALL PROPOSED SEWER LATERALS AND A MINIMUM OF 4 FEET OF COVER OVER PROPOSED WATER LINES.
- PROPOSED SANITARY SEWER LATERAL IS TO BE PRIVATELY OWNED AND MAINTAINED.
- THE TOWNSHIP ENGINEER OR REPRESENTATIVE SHALL OBSERVE ALL TESTING OF THE BUILDING SEWER LATERAL. ALL EQUIPMENT AND MATERIALS REQUIRED FOR TESTING SHALL BE FURNISHED BY THE OWNER OF THE IMPROVED PROPERTY TO BE CONNECTED TO A SEWER. THE COST OF INSPECTION SHALL BE BORNE BY THE OWNER.
- NO BUILDING SEWER SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED. IF ANY PART OF A BUILDING SEWER IS COVERED PRIOR TO INSPECTION, TESTING AND APPROVAL, IT SHALL BE UNCOVERED FOR INSPECTION AND TESTED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- SEPARATE UTILITY PERMIT APPLICATIONS WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, ETC.) IN MADOT ROW. APPLICANT HAS TO BE THE RESPECTIVE UTILITY COMPANY.
- CONTRACTOR TO VERIFY SIZE AND INVERT OF EXISTING SANITARY TIE-IN PRIOR TO BEGINNING OF CONSTRUCTION TO SEE IF EXISTING LATERAL IS ADEQUATE FOR PROPOSED SANITARY SEWER LATERAL.

**UTILITY LEGEND:**



STORM STRUCTURE TABLE									
STRUCTURE NAME	STRUCTURE TYPE	RIM	UPSTREAM PIPE NAME	UPSTREAM PIPE INV	DOWNSTREAM PIPE NAME	DOWNSTREAM PIPE INV	DOWNSTREAM PIPE LENGTH	DOWNSTREAM PIPE SIZE AND TYPE	DOWNSTREAM PIPE SLOPE
A1	EXISTING CATCH BASIN	124.740	STM 1	119.24'	STM 1	119.31'	9.64'	12" CLASS III RCP	0.70%
A2	PROPOSED CATCH BASIN	124.101	STM 2	119.31'	STM 2	119.53'	31.18'	12" CLASS III RCP	0.70%
A3	PROPOSED MANHOLE	125.518	STM 3	119.53'	STM 3	119.76'	33.80'	12" CLASS III RCP	0.70%
A4	PROPOSED CATCH BASIN	124.050	STM 4	119.76'	STM 4	120.08'	44.84'	12" CLASS III RCP	0.71%
A5	EXISTING CATCH BASIN	123.401							



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1270 Haverhill Road  
Dorset, MA 01922  
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www.core-states.com

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**CLIENT**  
**CHASE**

**811**  
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**DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK**

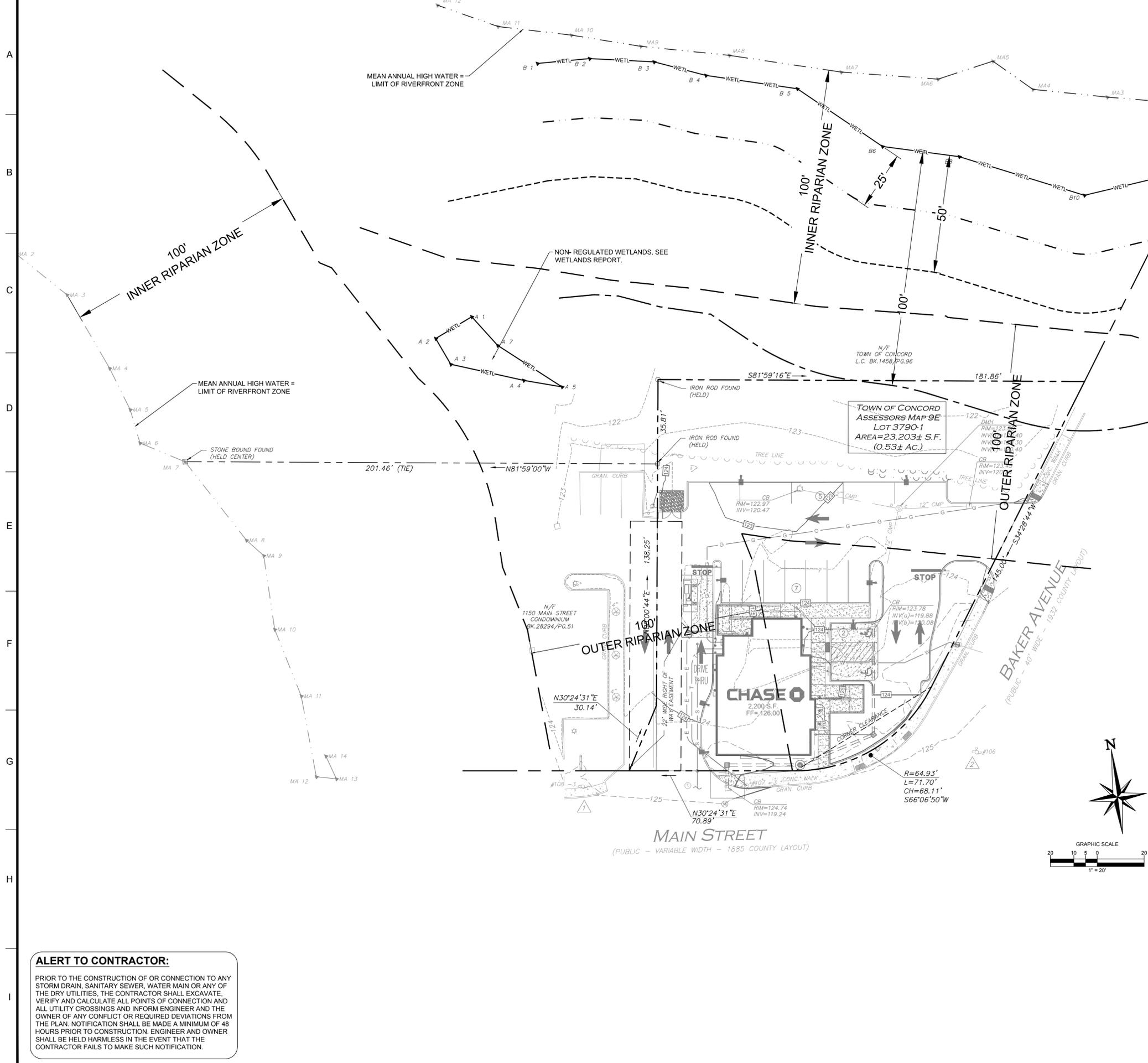
**SITE LOCATION**  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

**ENGINEER SEAL**  
ALAN D. ROSCOE  
REGISTERED PROFESSIONAL ENGINEER  
MA LICENSE #40163  
8-24-2020

**SHEET TITLE**  
UTILITY PLAN

JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: AS SHOWN  
DRAWN BY: CC  
CHECKED BY: TP

SHEET NO.  
**C-6**



**PROPERTY INFORMATION:**

THIS DRAWING REFERENCES: 1134 MAIN STREET, TOWN OF CONCORD EXISTING CONDITIONS PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY WOBURN, MA 01801 CONTACT: ANDREW RUGGLES (781) 935-6889

PROPERTY OWNER: NIKOEL LLC. 78 RHODE ISLAND AVENUE #3 NEWPORT, RI 02840

APPLICANT: J.P. MORGAN CHASE BANK 1450 BRICKELL AVENUE 3RD FLOOR MIAMI, FL 33131 CONTACT: CHRIS FOIT TEL: (786) 473-1769

SITE ADDRESS: 1134 MAIN STREET CONCORD, MA 01742 COUNTY OF MIDDLESEX

ZONING DATA: ZONED: WEST CONCORD BUSINESS DISTRICT (WCB) FLOOD PLAIN CONSERVANCY OVERLAY

EXISTING USE: BANK (PERMITTED)  
PROPOSED USE: BANK (PERMITTED)  
DRIVE THROUGH  
(SPECIAL USE APPROVAL - APPROVED BY TOWNSHIP)

NOTE:

- THE PROPOSED FORMULA BUSINESS USE (CHASE WITH DRIVE-UP ATM) FOR THIS PARCEL LOT MATCHES THE EXISTING FORMULA BUSINESS USE (EXISTING CITIZENS BANK WITH DRIVE-UP ATM) IN THE WEST CONCORD BUSINESS DISTRICT WHERE FORMULA BUSINESSES ARE LIMITED.
- FLOOD PLAIN ELEVATION IS DESIGNATED AS ELEVATION 125.00'. APPROXIMATE AREA OF FLOOD PLAIN ON PARCEL IS 21,750 SQUARE FEET.
- TOTAL AREA OF THE PARCEL WITHIN INNER RIPARIAN ZONE = 0 SF  
TOTAL AREA OF THE PARCEL WITHIN OUTER RIPARIAN ZONE = 15,485 SF  
TOTAL AREA OF THE PARCEL ALTERED WITHIN OUTER RIPARIAN ZONE = 9,675 SF

**RIPARIAN ZONE IMPERVIOUS COVERAGE CHANGE**  
(PROPOSED CHASE BANK: LOT 3790-1)

BUFFER ZONE	EXISTING	PROPOSED	NET CHANGE
100' INNER RIPARIAN ZONE	N/A	N/A	NO CHANGE
100' OUTER RIPARIAN ZONE	8,232 SF	8,105 SF	(-127 SF)

**TOTAL IMPERVIOUS COVERAGE CHANGE**  
(PROPOSED CHASE BANK: LOT 3790-1)

EXISTING	PROPOSED	NET CHANGE
13,495 SF	13,215 SF	(-280 SF)

**REVISIONS**

REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

**WETLANDS BUFFER PLAN LEGEND**

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE HATCH
- 25 FOOT WETLAND NO DISTURB ZONE
- 50 FOOT WETLAND NO BUILD ZONE
- 100 FOOT WETLAND BUFFER ZONE
- 100 FOOT WETLAND BUFFER ZONE
- WETLANDS BOUNDARY
- MEAN ANNUAL HIGHWATER
- WETLANDS FLAG
- PROPOSED PARKING COUNT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- SILT FENCE
- SILT SOXX
- TREE PROTECTION

**ALERT TO CONTRACTOR:**

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**CORE STATES INC.**  
1270 Herbert Road  
Dorset, MA 01922  
314.377.5660  
www.core-eng.com

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**CLIENT**  
**CHASE**

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCY TO THE RECORD DRAWINGS IS THE RESPONSIBILITY OF THE CONTRACTOR.

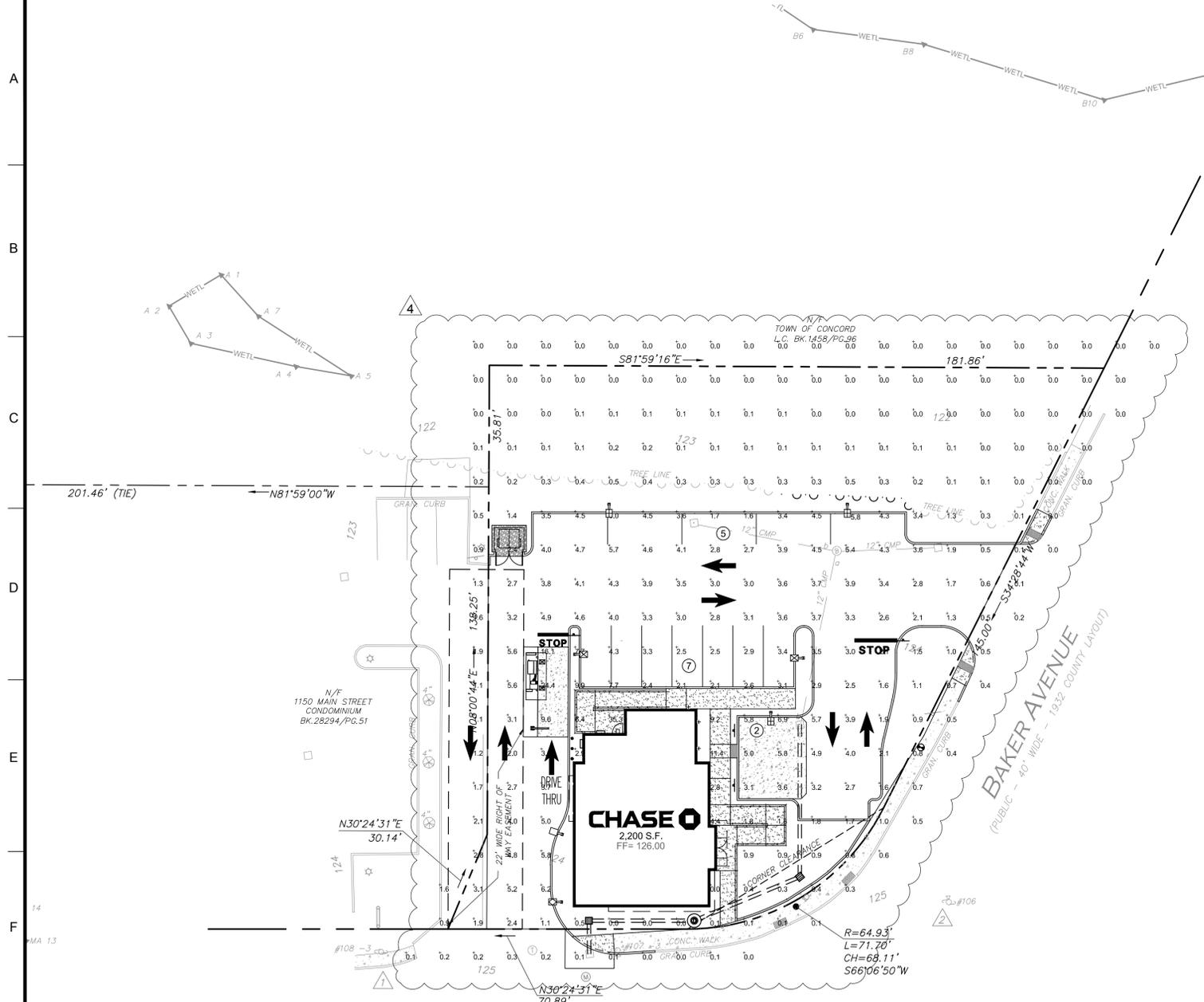
**DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK**

**SITE LOCATION**  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

**ENGINEER SEAL**  
ALAN D. ROSCOE, P.E.  
MA LICENSE #40163  
SHEET TITLE  
WETLANDS BUFFER PLAN

JPM-27599  
DATE: 04/28/2020  
SCALE: 1" = 20'  
DRAWN BY: CC  
CHECKED BY: TP

SHEET NO.  
**C-7**

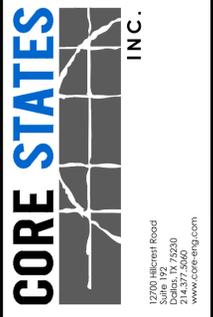


LUMINAIRE SCHEDULE						
SYMBOL	MANUFACTURER	MODEL	CATALOG	QTY	DISTRIBUTION	MOUNT HT.
☒	E-CONLIGHT	LED SQUARE CANOPY	E-CSA04A-W50W	2	TYPE 5	10'-0"
■	LUMARK	CROSSTOUR LED	XTOR6B-W-BZ-MS/DIM-L20-CPB	1	TYPE 3	10'-0"
●	AMERLUX	ROUND LENSED DOWN LIGHT	HDL-HP-R-A17-65SOL-3000	5	TYPE 5	10'-0"
⊕	EATON	LAN TERRA 9004	9004-W2-RW-LED-3090-W-BK-L1-UNV	3	TYPE 5	10'-0"
⊖	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SLR-7030	1	TYPE 90° SPILL LIGHT ELIMINATOR RIGHT	18'-0"
⊕	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SL4-7030-HSS	1	TYPE 4	18'-0"
⊖	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-02-LED-E1-SL4-7030-HSS	3	TYPE 4	18'-0"
⊖	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-02-LED-E1-5WQ-7030	2	TYPE 5	18'-0"

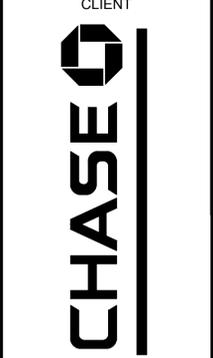
CALCULATION SUMMARY			
AREA	AVERAGE	MAX	MIN
PROPERTY ANALYSIS @ 3-FT ABOVE GRADE	2.51 fc	35.3 fc	0.0 fc

- LIGHTING NOTES**
1. LIGHT ANALYSIS CONDUCTED AT 3-FT ABOVE GRADE.
  2. ALL PROPOSED FIXTURES ON TIMER TO OPERATE DURING NIGHT TIME HOURS, 30 MINUTES AFTER SUNSET AND 30 MINUTES BEFORE SUNRISE.
  3. CONTRACTOR TO INSTALL FIXTURE ON COPPER LIGHTING POLE SSS-6-A-XX-S-Y-N-XX. MOUNT HEIGHTS ARE BASED ON HEIGHT ABOVE FINISHED ASPHALT GRADE.

- LIGHTING LEGEND**
- EXISTING PROPERTY BOUNDARY LINE
  - - - EXISTING ADJOINING PROPERTY LINE
  - - - EXISTING ROAD CENTERLINE
  - PROPOSED CURB
  - EXISTING CURB
  - 1.9 FOOTCANDLE CALCULATION POINT
  - ☒ PROPOSED SITE LIGHT FIXTURE



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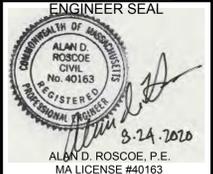


Know what's below. Call before you dig. The CONTRACTOR is specifically cautioned that the location and/or location of existing utilities as shown on these drawings is based on records and field verification. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION AND DEPTH OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION.

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1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
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DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION MAIN STREET & BAKER AVENUE 1134 MAIN STREET CONCORD, MA 01742



SHEET TITLE LIGHTING PLAN

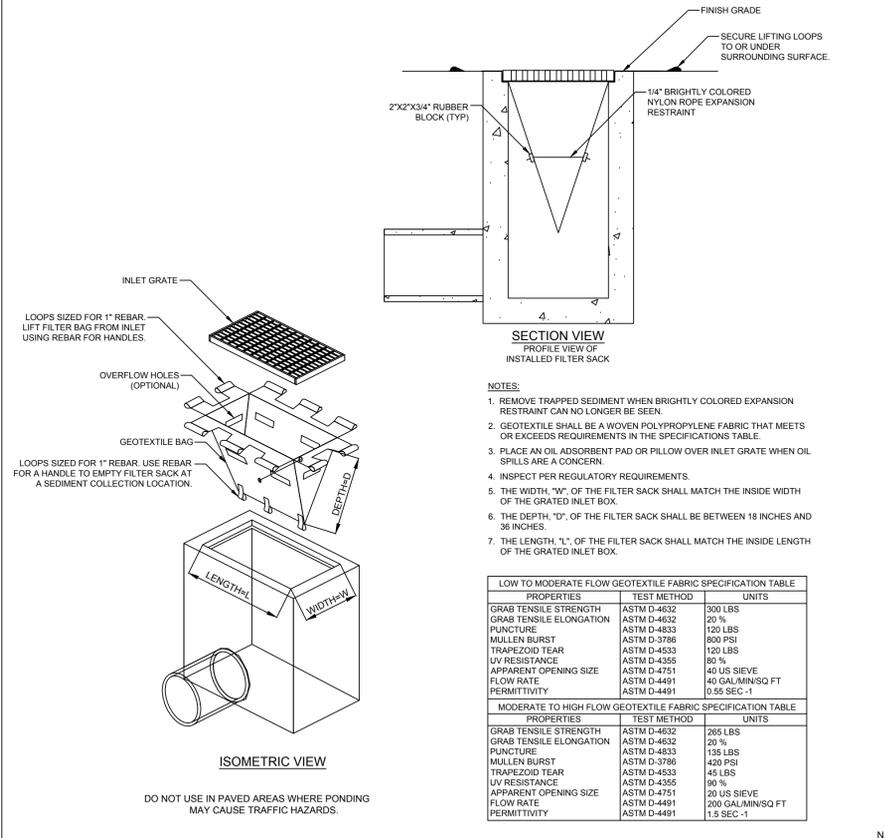
JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO. C-8

**ALERT TO CONTRACTOR:**  
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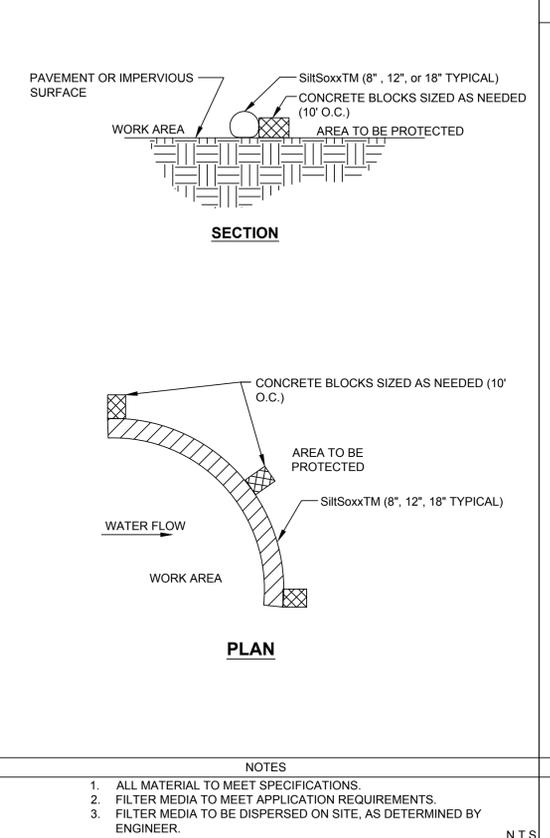
A  
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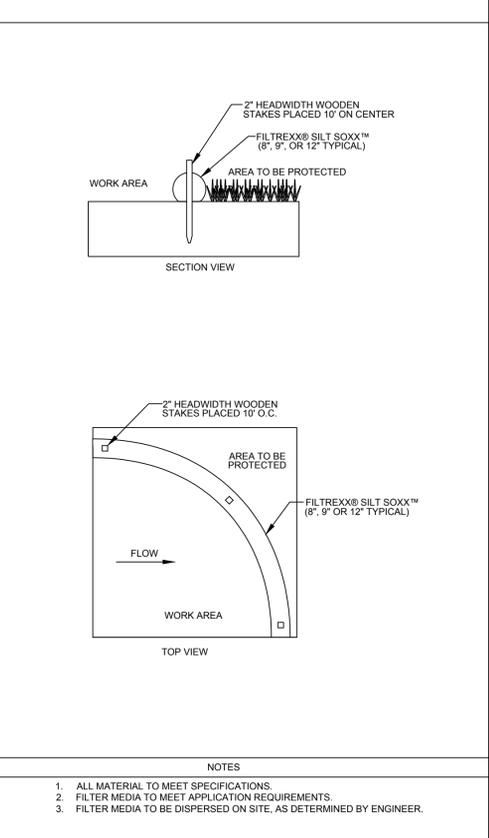
- NOTES:**
1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
  2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
  3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
  4. INSPECT PER REGULATORY REQUIREMENTS.
  5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
  6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
  7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

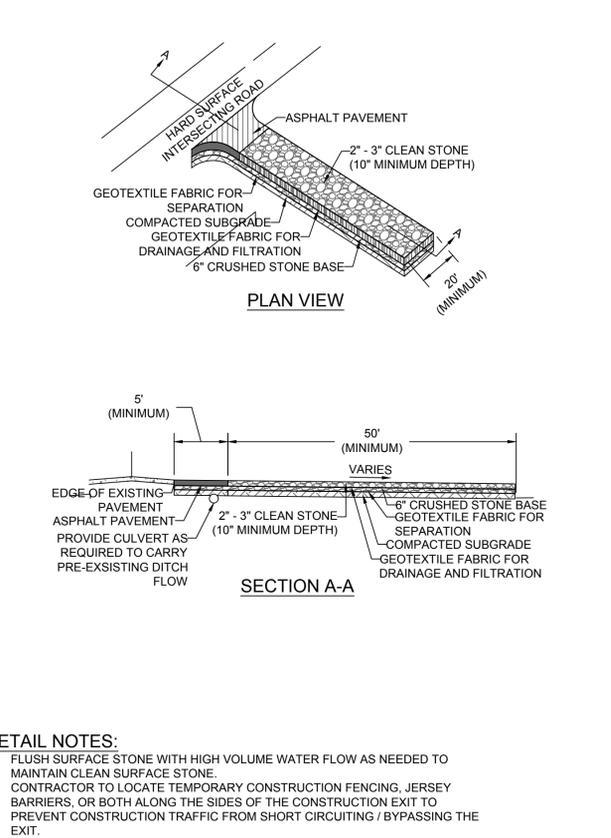
**FILTER SACKS - INLET PROTECTION (IP-1)**



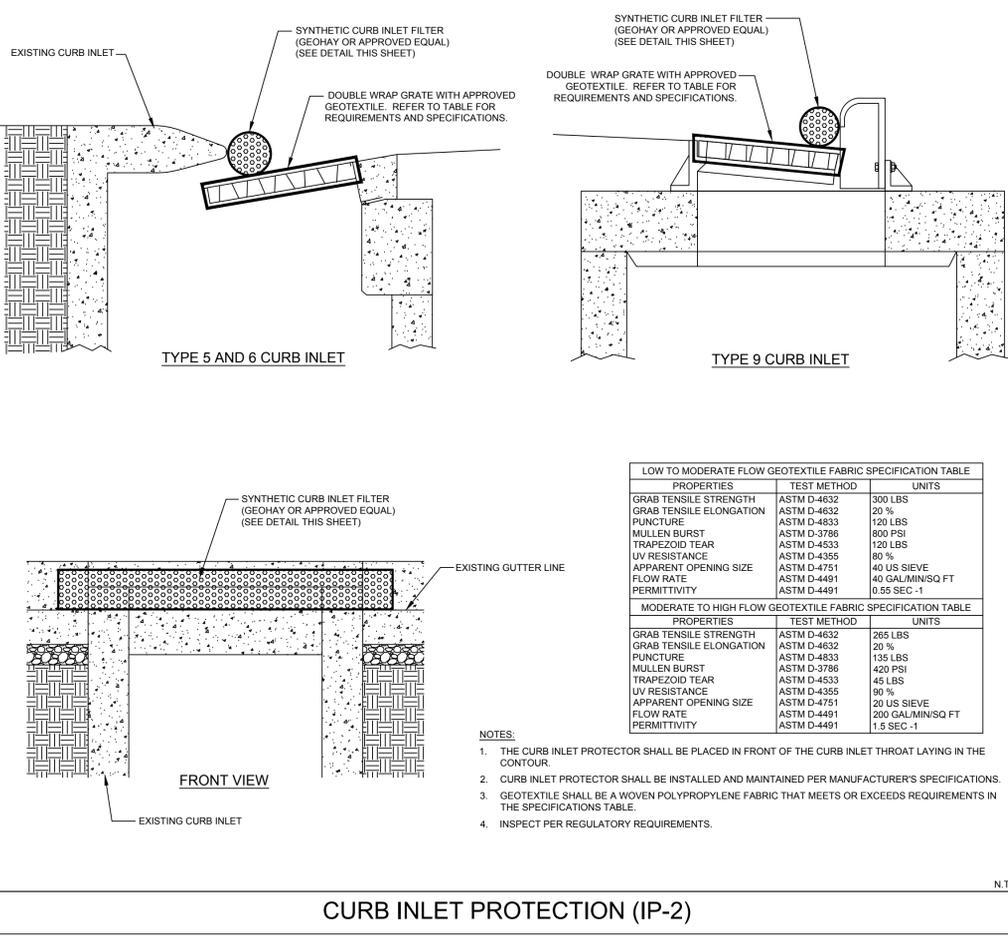
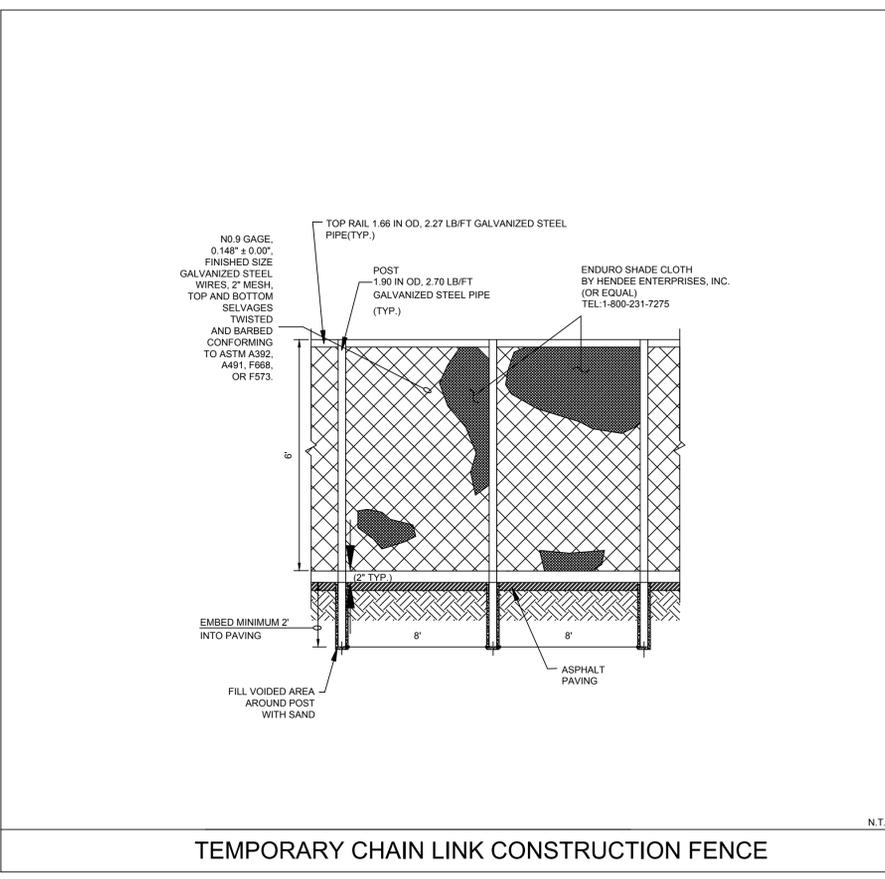
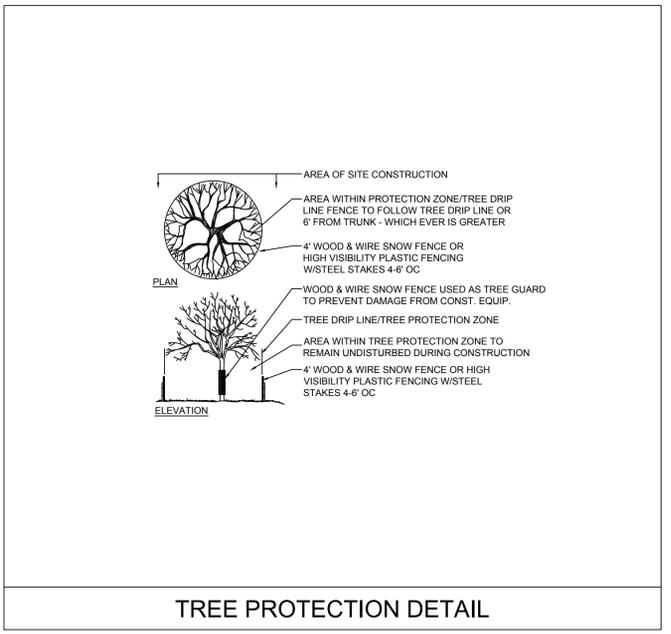
**SILT SOXX ON PAVEMENT (SS)**



**SILT SOXX ON TURF (SS)**



**CONSTRUCTION EXIT (CE)**



**CURB INLET PROTECTION (IP-2)**

12700 Haverhill Road  
Dorset, MA 01920  
508.377.5600  
www.corestates-inc.com

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**DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK**

**SITE LOCATION  
MAIN STREET &  
BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742**

**ALAN D. ROSCOE, P.E.**  
MA LICENSE #40163

**SHEET TITLE  
EROSION CONTROL  
DETAILS**

JOB #: JPM-27599

DATE: 04/28/2020

SCALE: AS SHOWN

DRAWN BY: CC

CHECKED BY: TP

SHEET NO.

CD-1

User: KPIURA Plot Date/Time: Aug. 25, 20 17:22:04 Drawing: C:\Users\kuran\AppData\Local\Temp\APublin\_4660\JPM-27599-P-DETL.dwg CD-1 EC DETAILS

**GENERAL**

THIS PLAN PROPOSES EROSION CONTROL MEASURES TO ADEQUATELY CONTROL ACCELERATED SEDIMENTATION AND REDUCE THE DANGER FROM STORM WATER RUNOFF AT THE SITE. THE RUNOFF SHALL BE CONTROLLED BY THE INTERCEPTION, DIVERSION, AND SAFE DISPOSAL OF PRECIPITATION. RUNOFF SHALL ALSO BE CONTROLLED BY STAGING CONSTRUCTION ACTIVITY AND PRESERVING NATURAL VEGETATION WHEREVER POSSIBLE.

EXISTING VEGETATION SHALL BE PROTECTED AND ONLY THAT CLEARING AND GRUBBING ABSOLUTELY NECESSARY TO THE PROPOSED CONSTRUCTION SHALL BE PERFORMED. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND CONTOUR, UNLESS OTHERWISE INDICATED ON THE PLANS. THE CONTRACTOR SHALL TAKE SPECIAL CARE WITH HIS CONSTRUCTION METHODS AND SHALL COMPLY WITH THE FOLLOWING GUIDELINES.

**SEDIMENTATION CONTROL**

ALL AREAS SHALL BE PROTECTED FROM SEDIMENTATION DURING AND AFTER CONSTRUCTION, PARTICULARLY THE STORAGE OF EXCAVATED OR STOCKPILED MATERIAL. THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM, OR ORGANIC MATTER PRIOR TO THE TRENCHING OR OTHER OPERATIONS AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SEDIMENT CONTROL MATERIAL (I.E. HAY BALES AND/OR FILTER FIBER ROLL).

DEBRIS AND OTHER WASTE RESULTING FROM EQUIPMENT MAINTENANCE AND CONSTRUCTION WILL NOT BE DISCARDED ON SITE.

**EROSION AND SEDIMENTATION CONTROL PLAN**

**SEDIMENTATION CONTROL SYSTEM** - THE SEDIMENTATION CONTROL SYSTEM SHALL CONSIST OF FILTER FABRIC BARRIER FENCE & HAYBALES. THE SEDIMENTATION CONTROL SYSTEM SHALL BE INSTALLED IMMEDIATELY AFTER A CUT SLOPE HAS BEEN GRADED, BEFORE A FILL SLOPE HAS BEEN CREATED AND AS INDICATED ON THE PLANS. THE SYSTEM DESIGNED TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE WETLANDS OR WATERCOURSES. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FOR THE UPSTREAM SIDE OF THE FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. HAY OR STRAW BALES ARE TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE SYSTEM IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE SYSTEM ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

**STACKED HAY BALES** - HAY OR STRAW BALES USED FOR EROSION CONTROL SHALL BE STACKED AT CATCH BASINS WHERE SEDIMENT MAY ENTER THE CATCH BASIN OR AS DIRECTED BY THE RESIDENT ENGINEER. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE EROSION CHECKS. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. HAY OR STRAW BALES ARE TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE SYSTEM IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE EROSION CHECKS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

**EROSION CONTROL MATTING** - MATTING SHALL BE USED FOR EROSION CONTROL ON SLOPES GREATER THAN 3:1. SOIL ON SLOPES SHALL BE PREPARED BEFORE INSTALLING MATTING, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED. THE SYSTEM IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT EROSION CONTROL UNTIL VEGETATION HAS ESTABLISHED.

IN ALL AREAS, REMOVAL OF TREES, BUSHES, AND OTHER VEGETATION, AND DISTURBANCE TO THE SOIL, IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE.

**EROSION AND SEDIMENT CONTROL MAINTENANCE PROCEDURES**

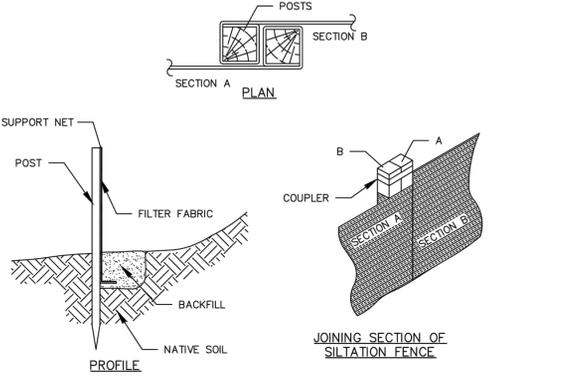
DURING CONSTRUCTION, AS SMALL AN AREA OF SOIL AS POSSIBLE SHOULD BE EXPOSED OR AS SHORT A TIME AS POSSIBLE. AFTER CONSTRUCTION, GRADE, RESPREAD TOPSOIL, AND STABILIZE SOIL BY SEEDING AND MULCHING AS TO PREVENT EROSION.

ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE INSPECTED DURING CONSTRUCTION ON A DAILY BASIS AND FOLLOWING ALL STORMS BY THE RESIDENT ENGINEER. THE CONTRACTOR SHALL MAINTAIN AND MAKE REPAIRS AND REMOVE SEDIMENT AS REQUESTED BY THE RESIDENT ENGINEER. THIS WORK SHALL BE PERFORMED WITHIN 24 HOURS OF REQUEST.

THE CONTRACTOR SHALL CLEAN SEDIMENT AND DEBRIS FROM ALL DRAINAGE STRUCTURES, AND PIPES AT THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ALL ERODED AREAS AND ENSURE A GOOD STAND OF TURF IS ESTABLISHED THROUGHOUT. THE CONTRACTOR SHALL REPAIR ALL ERODED OR DISPLACED RIPRAP, AND CLEAN SEDIMENT COVERED STONES.

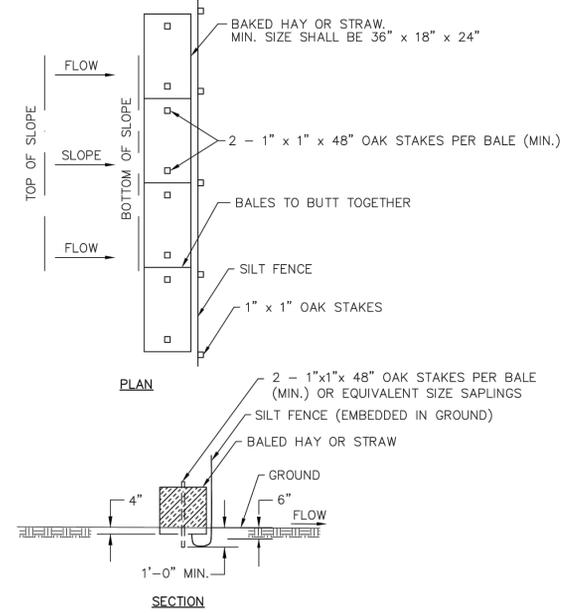
**CONSTRUCTION PROCEDURES:**

- HAY BALES SHALL BE PLACED AROUND EXISTING CATCH BASINS AND DROP INLETS TO PREVENT SEDIMENTATION AND OTHER DEBRIS FROM ACCUMULATING ON THE GRATE OR IN THE SUMP. HAY BALES SHOULD BE KEPT CLEAN AND FREE OF DEBRIS TO FACILITATE FLOW.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALES.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



**CONSTRUCTION NOTES**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES.
- FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
EROSION AND SEDIMENTATION CONTROL NOTES			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-1	



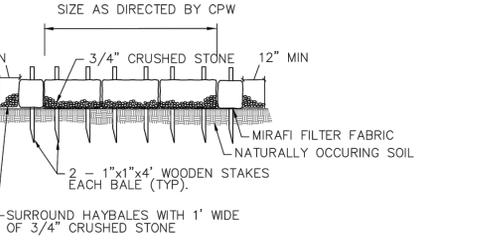
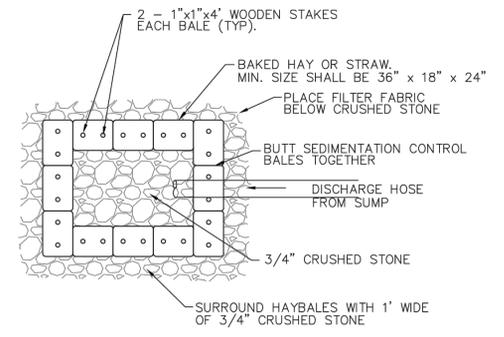
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
EROSION AND SEDIMENTATION CONTROL NOTES (CONTINUED)			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-2	



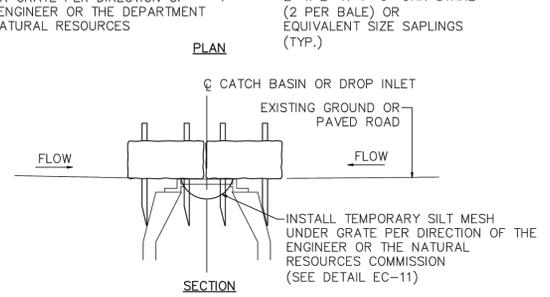
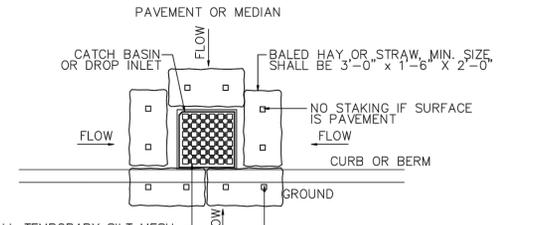
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
SILTATION FENCE			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-3	



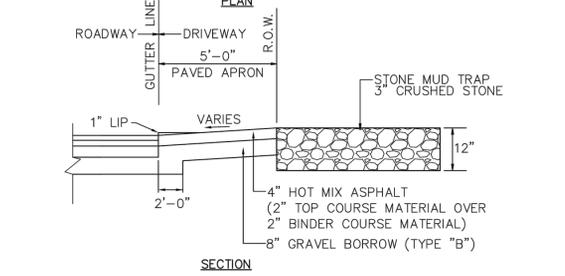
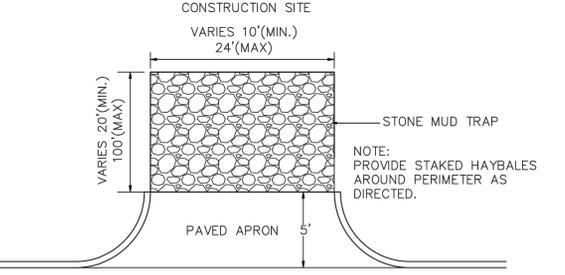
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
HAYBALES AND SILT FENCE			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-4	



TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
ONSITE DEWATERING BASIN			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-5	



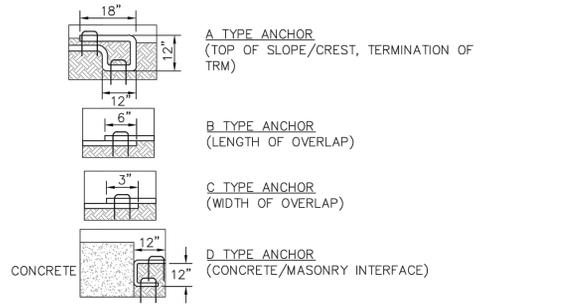
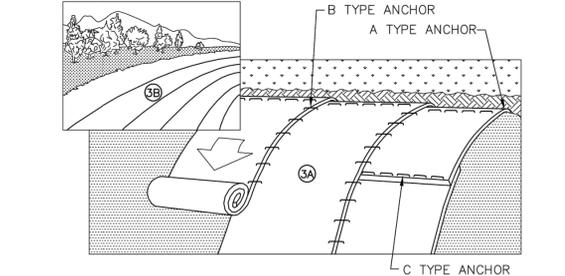
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
DRAIN INLET PROTECTION			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-6	



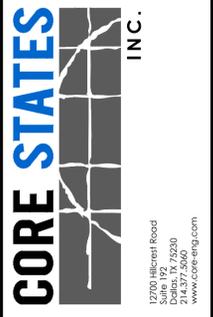
**NOTE:** STONE MUD TRAP SHALL BE REMOVED AND REPLACED WHEN FILLED WITH SEDIMENT OR AS REQUIRED BY THE TOWN ENGINEER OR HIS DESIGNEE.



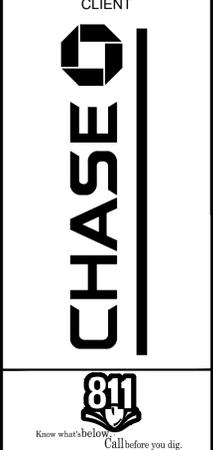
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
TEMPORARY CONSTRUCTION ENTRANCE			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-7	



TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS			
EROSION CONTROL MATTING			
SCALE:N.T.S.	DATE:01/08/2015		
JOB NO./FILE NAME: FILE.DWG	DESIGNED BY:JCZ DRAWN BY:JCZ CHECKED BY:W.J.R.	PLAN NO. EC-8	



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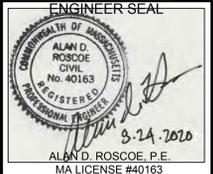


THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION AND DEPTH OF UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

**DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK**

**SITE LOCATION MAIN STREET & BAKER AVENUE 1134 MAIN STREET CONCORD, MA 01742**



**SHEET TITLE EROSION CONTROL DETAILS**

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

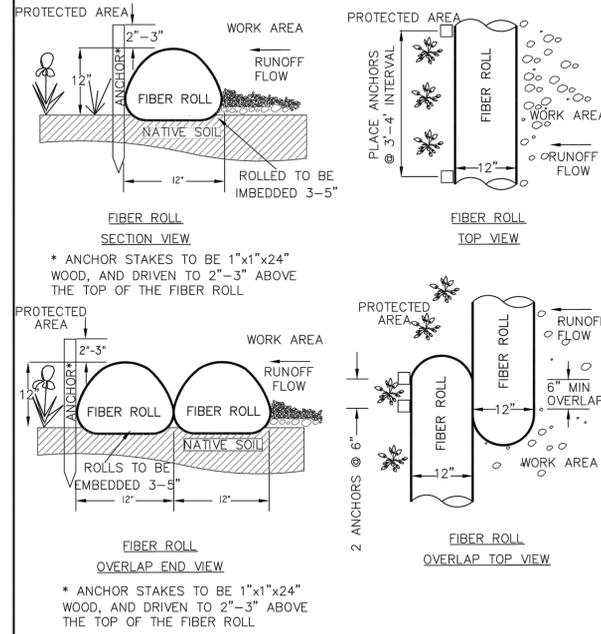
**CD-2**

**EROSION CONTROL MATTING INSTALLATION NOTES**

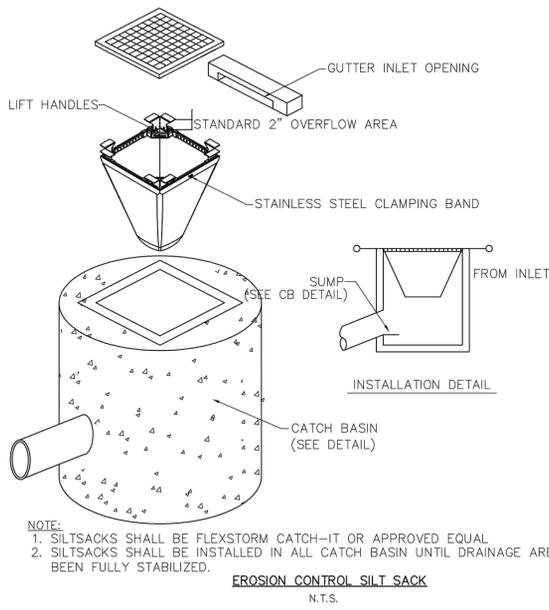
- INSTALL TURF REINFORCEMENT MAT (TRM) IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. MANUFACTURERS REPRESENTATIVE SHALL INSPECT THE SITE PREPARATION PRIOR TO INSTALLATION OF THE TURF REINFORCEMENT MAT AND PROVIDE ON SITE SUPERVISION FOR THE INSTALLATION. UPON COMPLETION, THE REPRESENTATIVE SHALL PROVIDE WRITTEN CERTIFICATION AS TO THE ACCEPTABILITY OF THE INSTALLATION.
  - PREPARE SOIL BEFORE INSTALLING TRM, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED. NOTE: WHEN USING CELL DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE TRM IN A 6"x6" TRENCH WITH APPROXIMATELY 12" OF TRM EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE TRM WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF TRM BACK OVER SEED AND COMPACTED SOIL. SECURE TRM OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE TRM.
  - ROLL THE TRM (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. TRM WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL TRM MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL TRM MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON TRM TYPE.
  - CONSECUTIVE TRM SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE TRM WIDTH.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE TRM.
- WHERE THE BLANKETS RUN PARALLEL TO CONCRETE OR STONE MASONRY WALL, PLACE AND SECURE BLANKETS WITH D-TYPE ANCHOR.



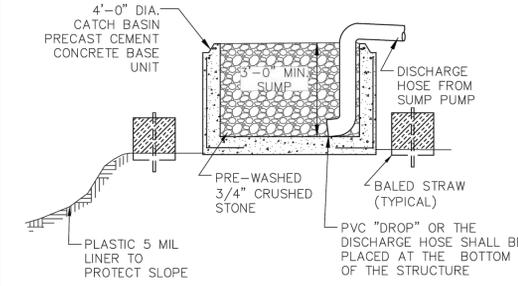
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
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SCALE: N.T.S.	DATE: 01/08/2015	
JOB NO./FILE NAME:	DESIGNED BY: JCZ	PLAN NO.
FILE.DWG	DRAWN BY: JCZ	EC-9
	CHECKED BY: W.J.R.	



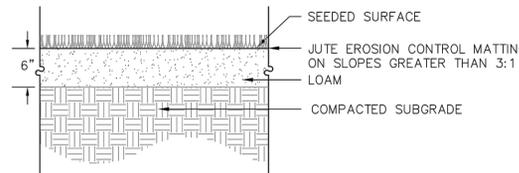
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
EROSION CONTROL FIBER ROLL DETAIL		
SCALE: N.T.S.	DATE: 01/08/2015	
JOB NO./FILE NAME:	DESIGNED BY: JCZ	PLAN NO.
FILE.DWG	DRAWN BY: JCZ	EC-10
	CHECKED BY: W.J.R.	



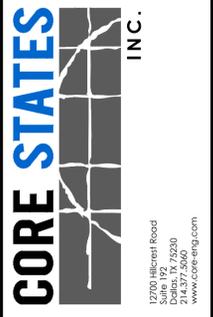
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
EROSION CONTROL SILT SACK DETAIL		
SCALE: N.T.S.	DATE: 08/10/2017	
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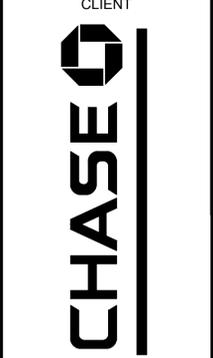
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
DEWATERING SUMP DETAIL		
SCALE: N.T.S.	DATE: 01/08/2015	
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FILE.DWG	DRAWN BY: JCZ	EC-12
	CHECKED BY: W.J.R.	



TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
LOAM AND SEED DETAIL		
SCALE: N.T.S.	DATE: 01/08/2015	
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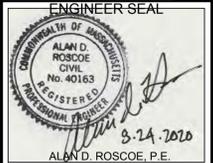
1270 Herbert Road  
Dorset, MA 01920  
314.377.5060  
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REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
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DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

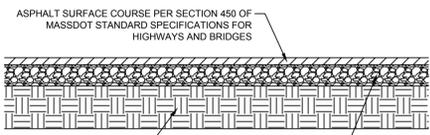


SHEET TITLE  
EROSION CONTROL DETAILS

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO.  
**CD-3**

ASPHALT TYPE	LAYER DEPTH STANDARD DUTY
ASPHALTIC CONCRETE SURFACE COURSE	1.5"
BITUMINOUS CONCRETE BINDER COURSE	1.5"
DENSE-GRADED CRUSHED STONE SUBBASE	6"
PROCESSED GRAVEL SUBBASE	12"



ASPHALT SURFACE COURSE PER SECTION 450 OF MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES

AGGREGATE BASE COURSE PER SECTION 430 OF MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES

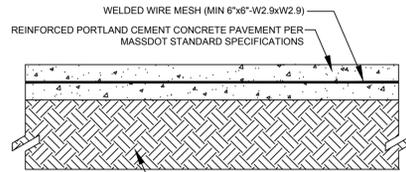
NOTES:

- AGGREGATE BASE COURSE CAN BE LIMEROCK OR CRUSHED CONCRETE (LBR = 100) COMPACT BASE COURSE TO 98% OF THE MATERIALS MAXIMUM DRY DENSITY PER ASTM D-1557.
- COMPACTED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40.

N.T.S.

ASPHALT PAVING DETAIL

SLAB COMPONENT	CONCRETE SLAB LOCATION	
	INTERIOR	OUTER 2'
CONCRETE PAVEMENT	6"	12"
COMPACTED SUBGRADE	12"	12"
MINIMUM 28 DAY STRENGTH	4000 PSI	4000 PSI



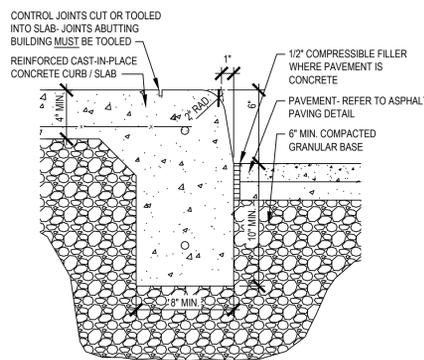
NOTE: THESE SPECIFICATIONS ARE BASED ON GEOTECHNICAL REPORT. REFER TO REPORT FOR FINAL SPECIFICATIONS.

NOTES:

- SUBGRADE MATERIALS SHALL MEET MASSDOT REQUIREMENTS INCLUDING COMPACTION TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
- CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS, OR MASSDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.
- CONTRACTOR TO DOWEL AND JOINT BETWEEN CONCRETE SLAB AND CURB.

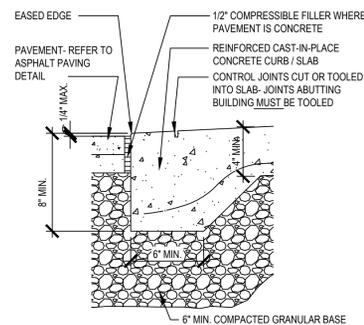
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CONCRETE PAVEMENT DETAIL



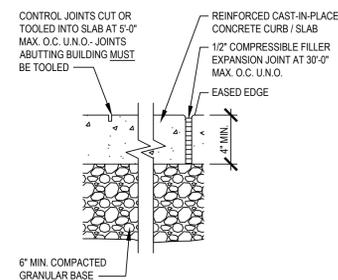
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PEDESTRIAN WALK CURB



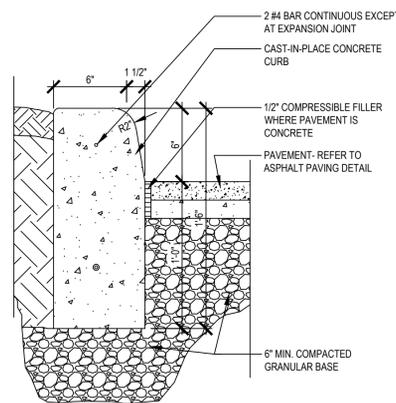
N.T.S.

FLUSH CURB



N.T.S.

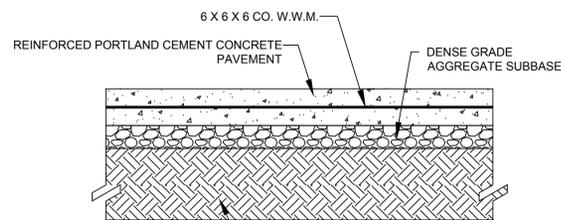
PEDESTRIAN WALK EXPANSION JOINT



N.T.S.

BARRIER CURB

	DRIVE THRU & ADA PARKING PAD	TRASH ENCLOSURE
CONCRETE MAT	LAYER DEPTH 6"	LAYER DEPTH 8"
DENSE GRADE AGGREGATE SUBBASE	6"	6"
MINIMUM 28 DAY STRENGTH	4,500 PSI	4,500 PSI

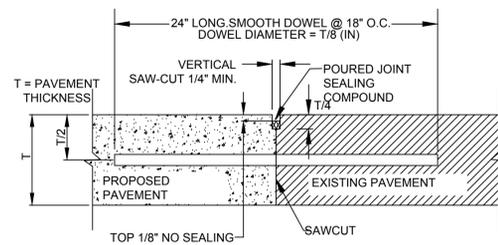


DETAIL NOTES:

- CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS.
- CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.

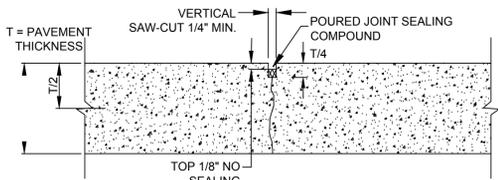
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CONCRETE SLAB SECTION

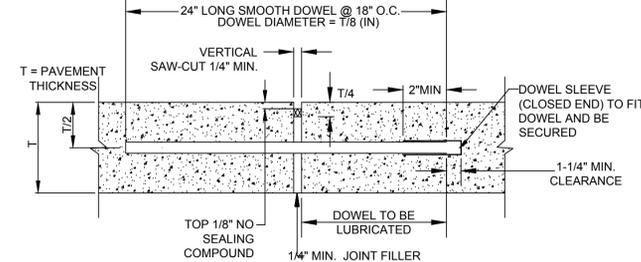


- NOTE:
- DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
  - DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

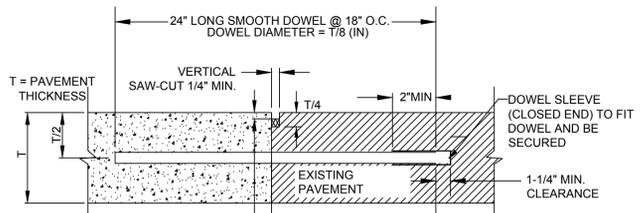


CONTRACTION JOINT



- NOTE:
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



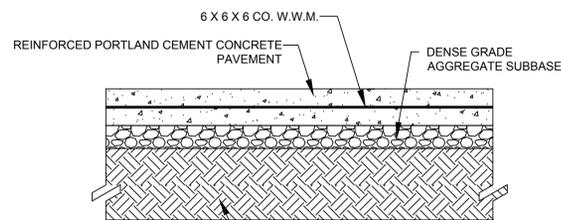
- NOTE:
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT

CONCRETE JOINT DETAILS

N.T.S.

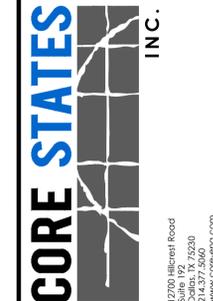
	DRIVE THRU & ADA PARKING PAD	TRASH ENCLOSURE
CONCRETE MAT	LAYER DEPTH 6"	LAYER DEPTH 8"
DENSE GRADE AGGREGATE SUBBASE	6"	6"
MINIMUM 28 DAY STRENGTH	4,500 PSI	4,500 PSI



NOTES:

- PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS.
- PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS.
- CONTRACTOR TO PREPARE SUBGRADE BASED ON RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.

CONCRETE SIDEWALK DETAIL



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CLIENT

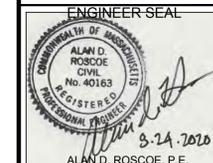


Know what's below. Call before you dig.

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DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

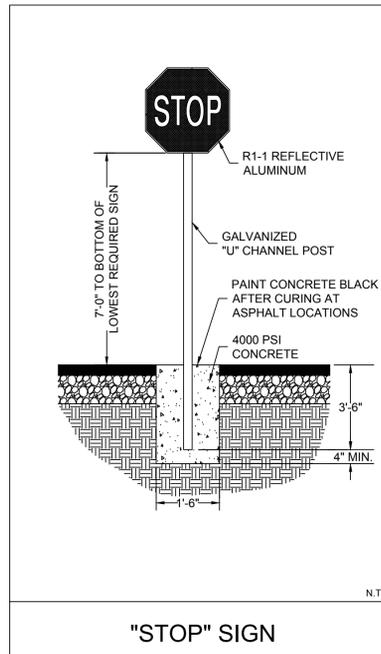
SITE LOCATION  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742



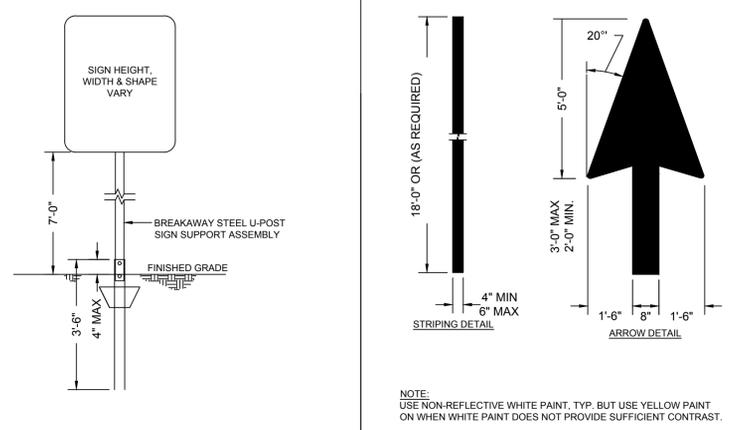
SHEET TITLE  
CONSTRUCTION  
DETAILS

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

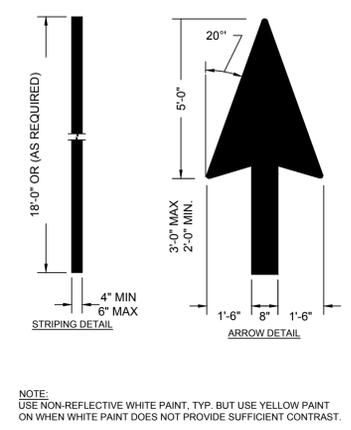
SHEET NO.  
CD-4



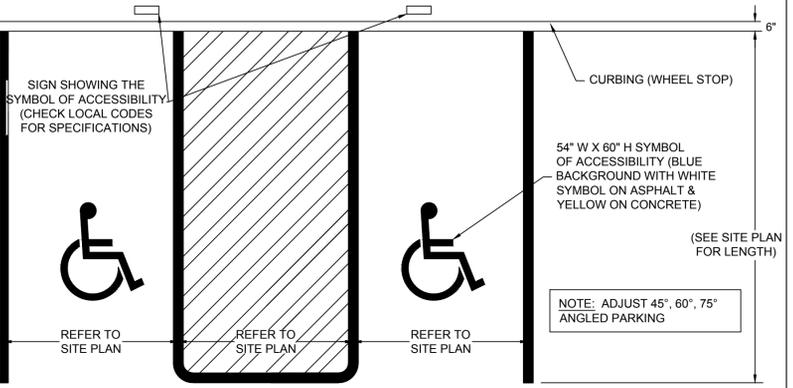
"STOP" SIGN



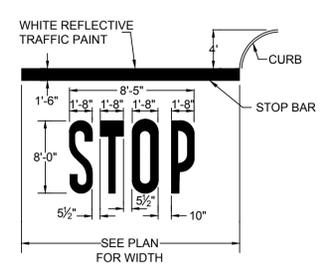
TRAFFIC SIGN POST DETAIL



PAVEMENT STRIPING DETAIL



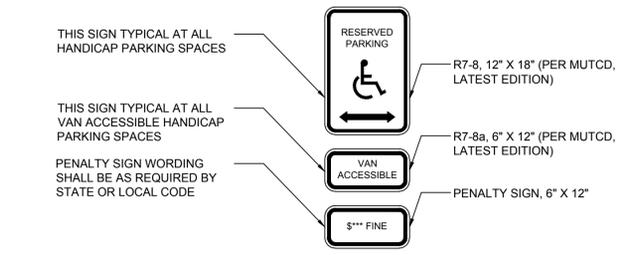
ACCESSIBLE PARKING STALL



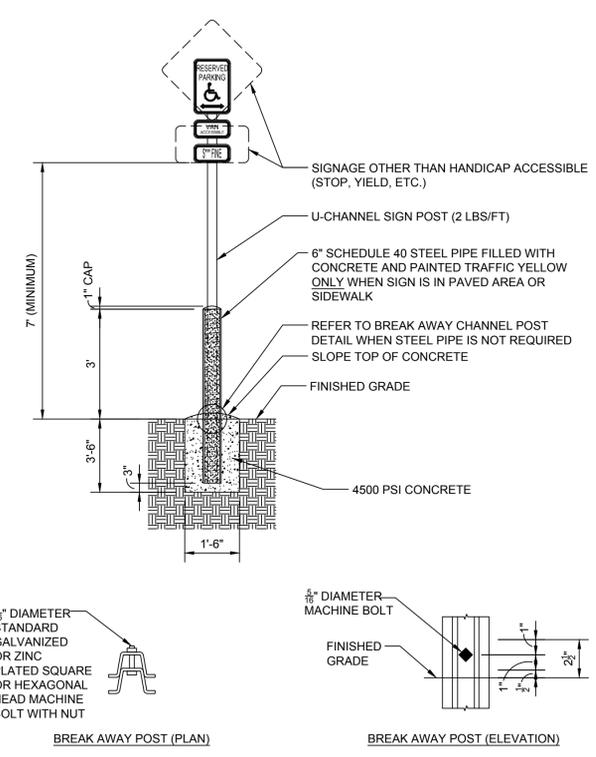
STOP WITH BAR



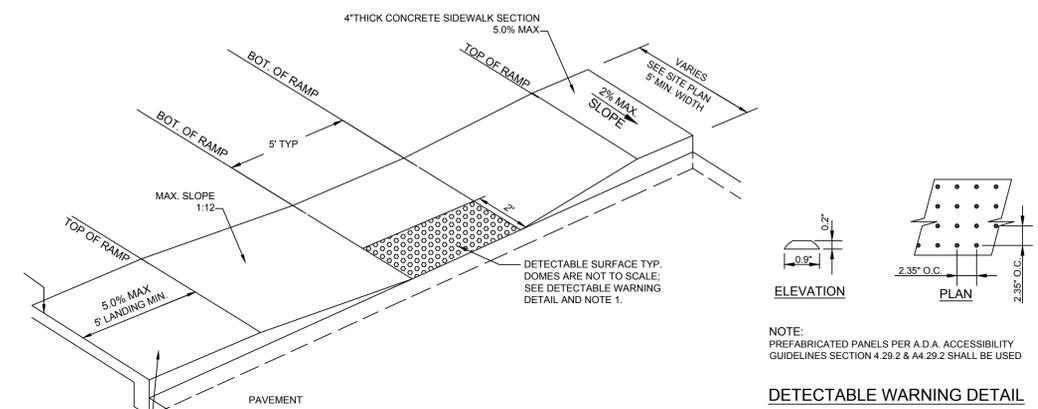
"DO NOT ENTER" SIGN



ADA PARKING SIGN DETAIL



SIGN POST



CURB RAMP DETAIL

- NOTES:
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
  2. CONSTRUCT PER A.D.A. STANDARDS AND THE TOWN OF CONCORD BUILDING CODE.
  3. REFER TO PLANS FOR ADJACENT SLOPES.
  4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1.5%. SHOULD THE CROSS SLOPE EXCEED 2% THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT AND THE TOWN OF CONCORD BUILDING CODE.
  5. THE LONGITUDINAL SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 8.33%. SHOULD THE LONGITUDINAL SLOPE EXCEED 8.33%, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT AND THE TOWN OF CONCORD BUILDING CODE.
  6. ALL HANDICAP RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE TOWN OF CONCORD BUILDING CODE.
  7. SEE DETAIL FOR DETECTABLE WARNING LOCATION, TYPE, AND EXTENTS.

**CORE STATES**  
INC.

1270 Haverhill Road  
Concord, MA 01730  
314.377.5660  
www.core-eng.com

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CLIENT

**CHASE**

811

Know what's below. Call before you dig.

The CONTRACTOR is specifically cautioned that the LOCATION AND/or ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION WORK.

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DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

ENGINEER SEAL

ALAN D. ROSCOE  
CIVIL  
No. 40163  
REGISTERED PROFESSIONAL ENGINEER

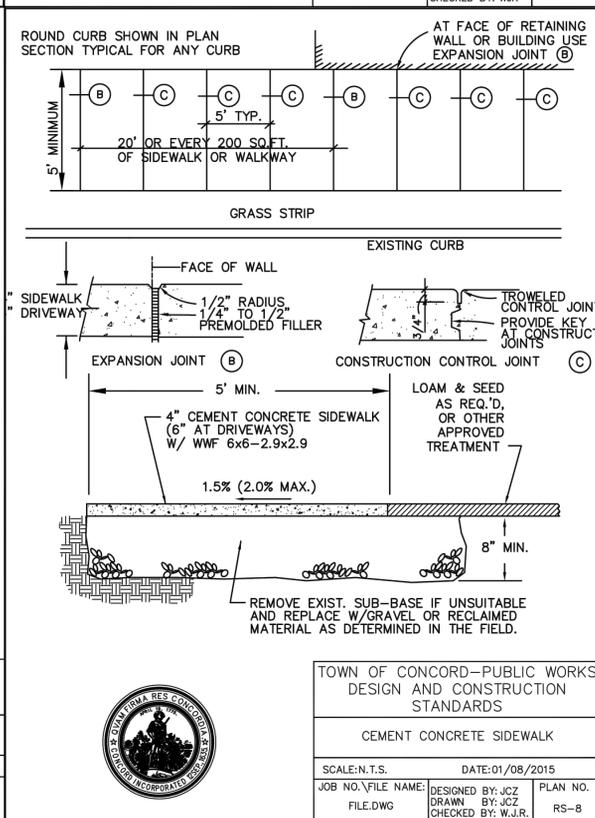
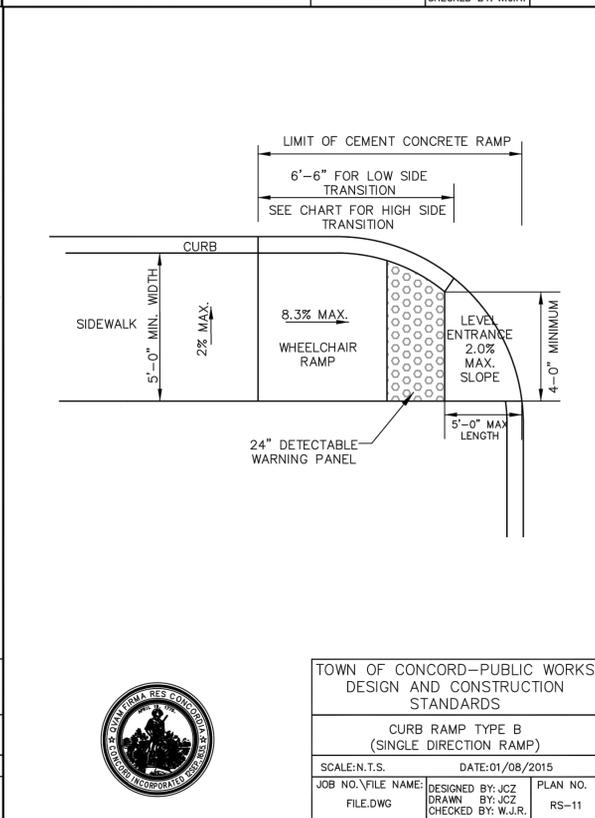
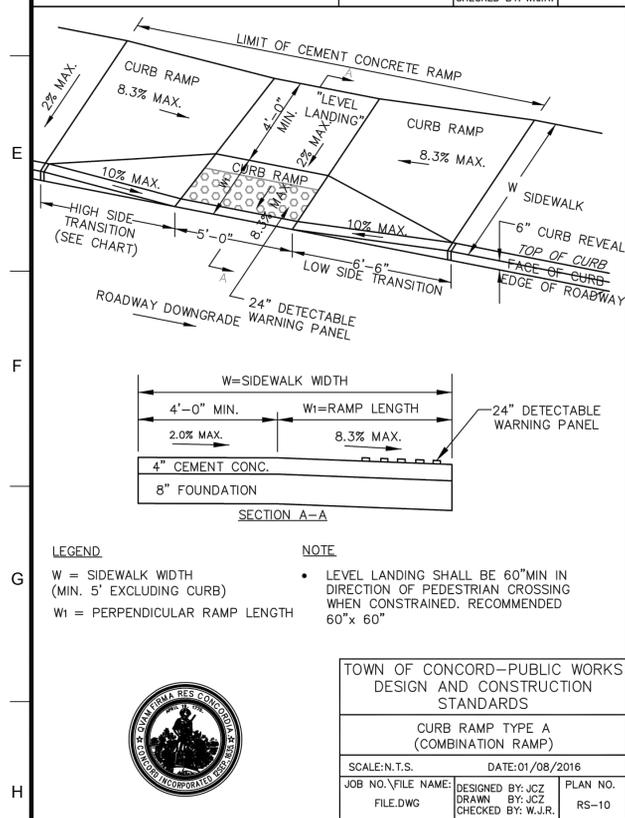
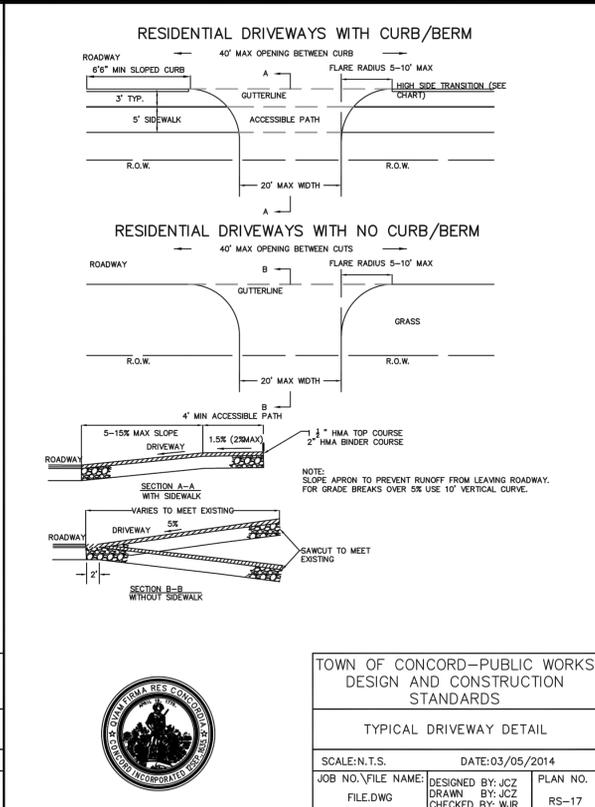
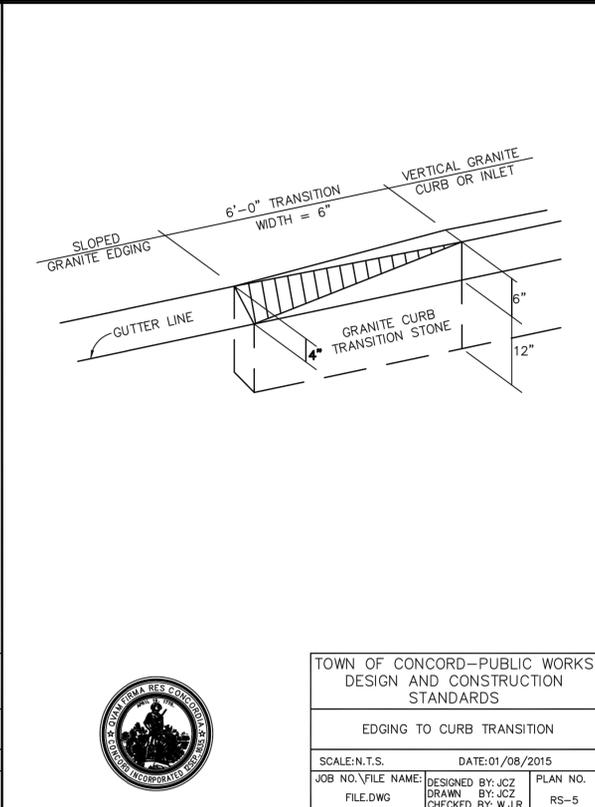
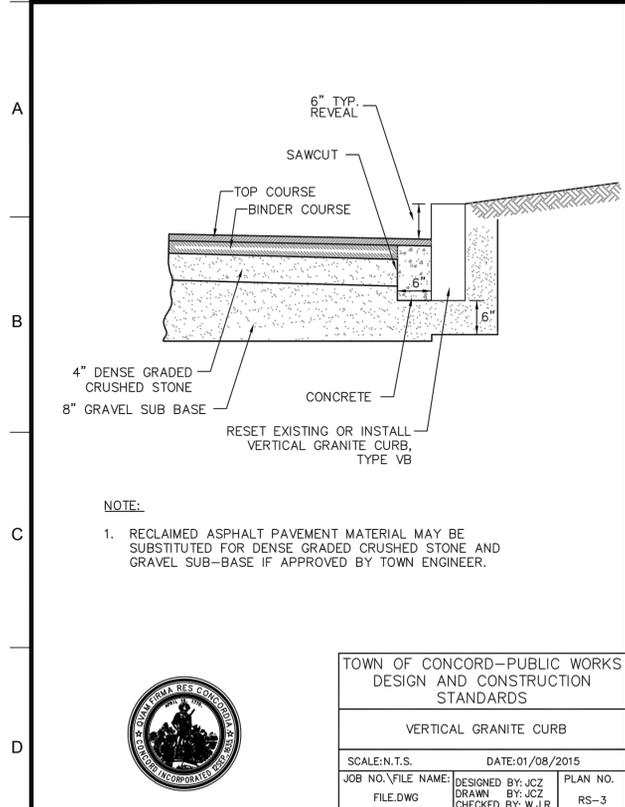
8-24-2020

ALAN D. ROSCOE, P.E.  
MA LICENSE #40163

SHEET TITLE  
CONSTRUCTION DETAILS

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO.  
**CD-5**



**CORE STATES INC.**  
1270 Haverhill Road  
Dorset, MA 01920  
314.377.5660  
www.corestates.com

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**CLIENT**  
**CHASE**

Know what's below. Call before you dig.

REV. DATE COMMENT BY

1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGf
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGf
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

**DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK**

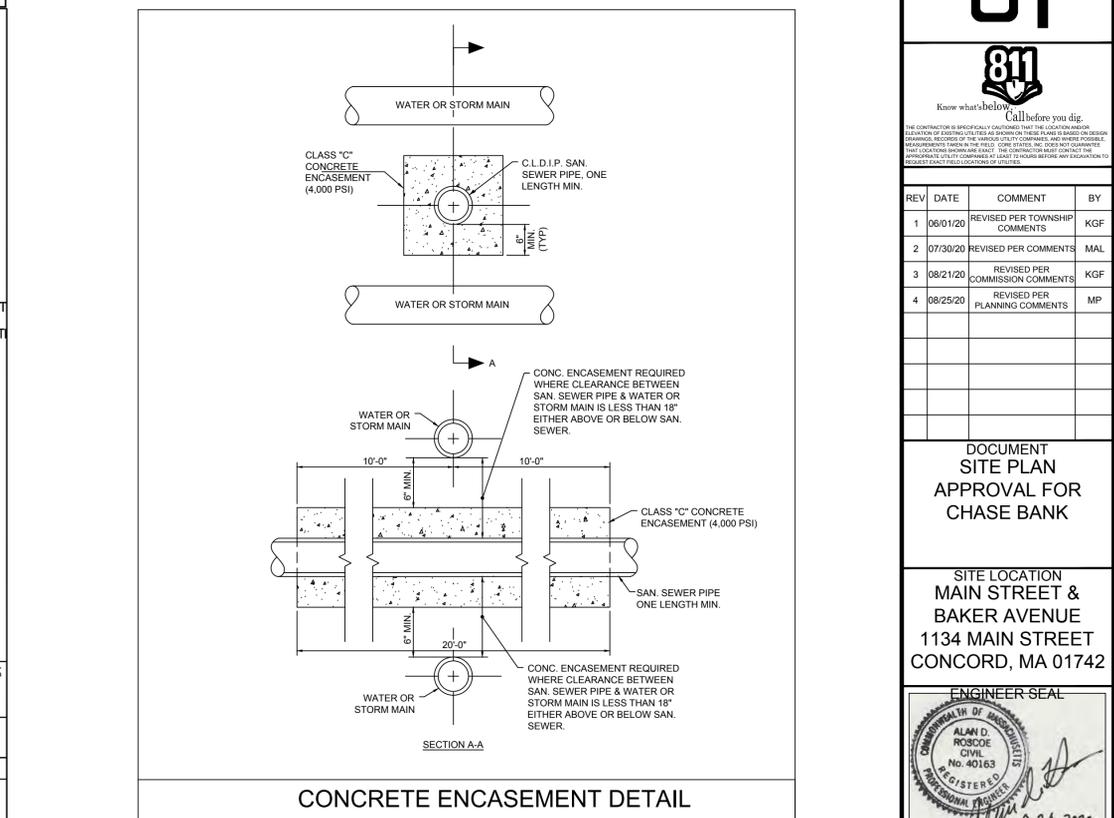
**SITE LOCATION**  
MAIN STREET & BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742

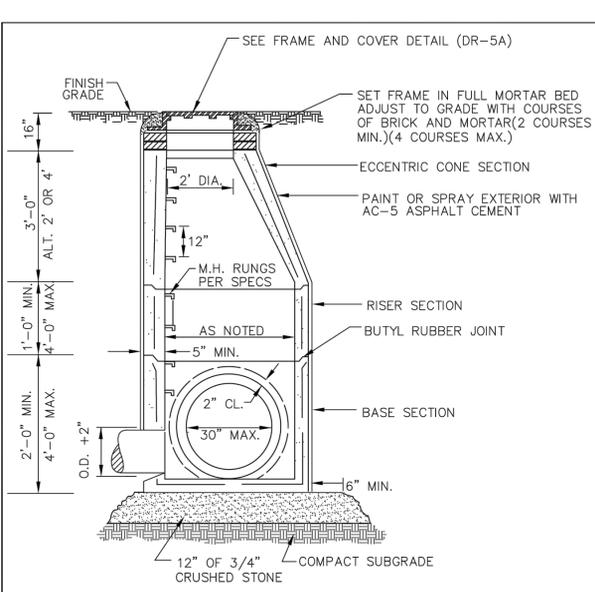
**ENGINEER SEAL**  
ALAN D. ROSCOE  
CIVIL No. 40163  
REGISTERED PROFESSIONAL ENGINEER  
MA LICENSE #40163  
8-24-2020

**SHEET TITLE**  
CONSTRUCTION DETAILS

JOB #: JPM-27599  
DATE: 04/28/2020  
SCALE: AS SHOWN  
DRAWN BY: CC  
CHECKED BY: TP

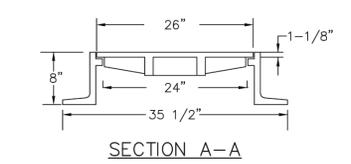
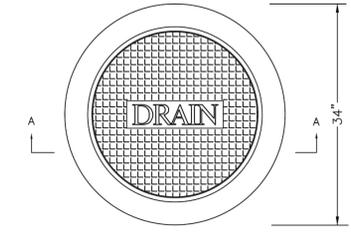
**CD-6**





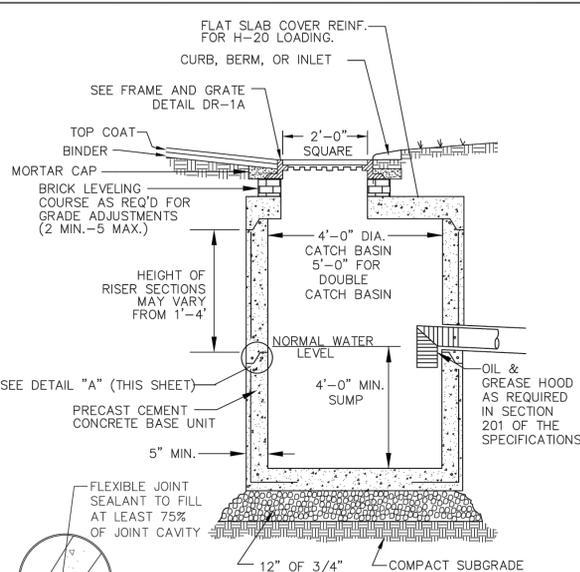
**NOTE:**  
 PRECAST REINFORCED CONCRETE MANHOLE TO BE CAPABLE OF SUPPORTING H-20 LOADING

TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
STANDARD PRECAST DRAINAGE MANHOLE DETAIL		
SCALE: N.T.S.	DATE: 01/08/2015	
JOB NO. \FILE NAME:	DESIGNED BY: JCZ	PLAN NO.
FILE.DWG	DRAWN BY: JCZ	DR-5
	CHECKED BY: W.J.R.	



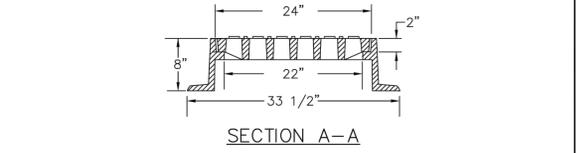
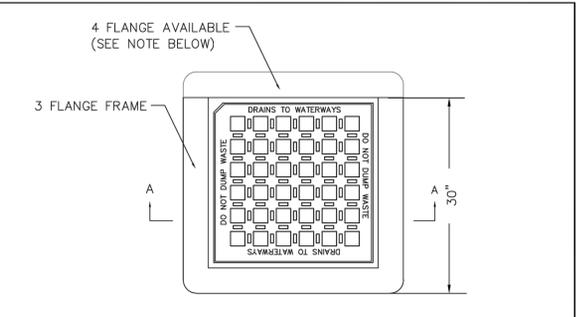
**NOTE:**  
 FRAME EJ CATALOG NO. OMA211000038  
 COVER EJ CATALOG NO. OMA211000041  
 OR APPROVED EQUAL.

TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
DRAIN MANHOLE COVER AND FRAME DETAIL		
SCALE: N.T.S.	DATE: 01/08/2015	
JOB NO. \FILE NAME:	DESIGNED BY: JCZ	PLAN NO.
FILE.DWG	DRAWN BY: JCZ	DR-5A
	CHECKED BY: W.J.R.	



**NOTE:**  
 PRECAST REINFORCED CONCRETE CATCH BASIN TO BE CAPABLE OF SUPPORTING H-20 LOADING.

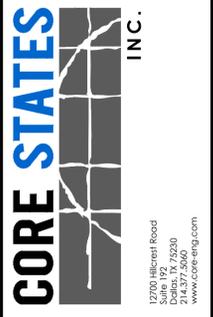
TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
STANDARD CATCH BASIN DETAIL		
SCALE: N.T.S.	DATE: 5/11/2017	
JOB NO. \FILE NAME:	DESIGNED BY: N.L.C.	PLAN NO.
FILE.DWG	DRAWN BY: N.L.C.	DR-1
	CHECKED BY: W.J.R.	



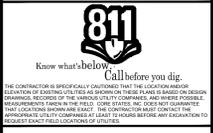
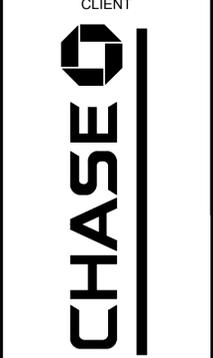
**NOTE:**  
 FRAME EJ CATALOG NO. OMA552000029  
 GRATE EJ CATALOG NO. OMA552000075  
 OR APPROVED EQUAL.

3 FLANGE FRAMES TO BE USED WHERE INLET IS ADJACENT TO CURB STONES, 4 FLANGE FRAME TO BE USED ELSEWHERE.  
 "DO NOT DUMP WASTE, DRAINS TO WATERWAYS" SHALL BE FORGED INTO THE GRATE.

TOWN OF CONCORD—PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS		
CATCH BASIN FRAME AND GRATE		
SCALE: N.T.S.	DATE: 01/08/2015	
JOB NO. \FILE NAME:	DESIGNED BY: JCZ	PLAN NO.
FILE.DWG	DRAWN BY: JCZ	DR-1A
	CHECKED BY: W.J.R.	



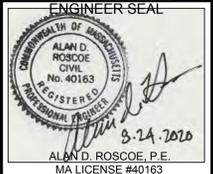
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REV	DATE	COMMENT	BY
1	06/01/20	REVISED PER TOWNSHIP COMMENTS	KGF
2	07/30/20	REVISED PER COMMENTS	MAL
3	08/21/20	REVISED PER COMMISSION COMMENTS	KGF
4	08/25/20	REVISED PER PLANNING COMMENTS	MP

DOCUMENT  
 SITE PLAN  
 APPROVAL FOR  
 CHASE BANK

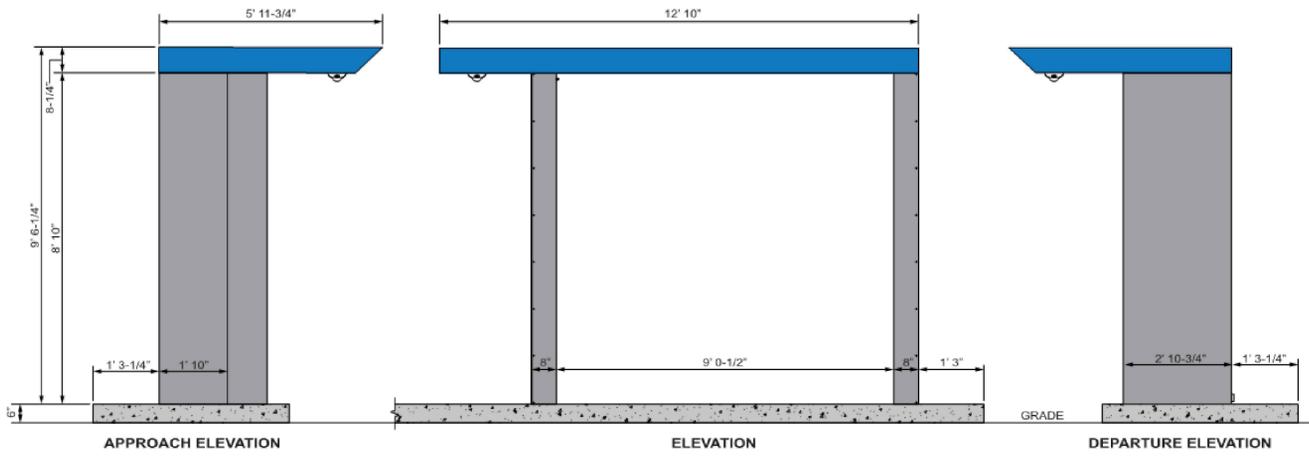
SITE LOCATION  
 MAIN STREET &  
 BAKER AVENUE  
 1134 MAIN STREET  
 CONCORD, MA 01742



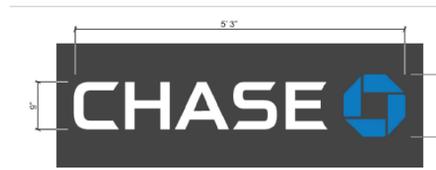
SHEET TITLE  
 STORM  
 DETAILS

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

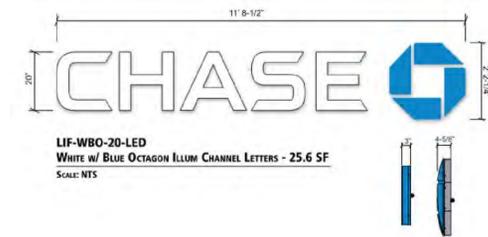
SHEET NO.  
**CD-7**



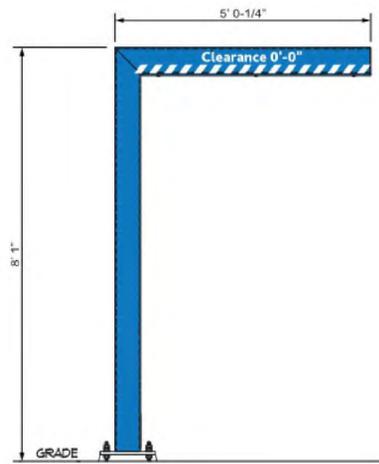
CHASE SIGNATURE ATM DRIVE-UP CANOPY - NO BRANDING  
N.T.S.



CHASE CUSTOM TRANSOM SIGN  
N.T.S.



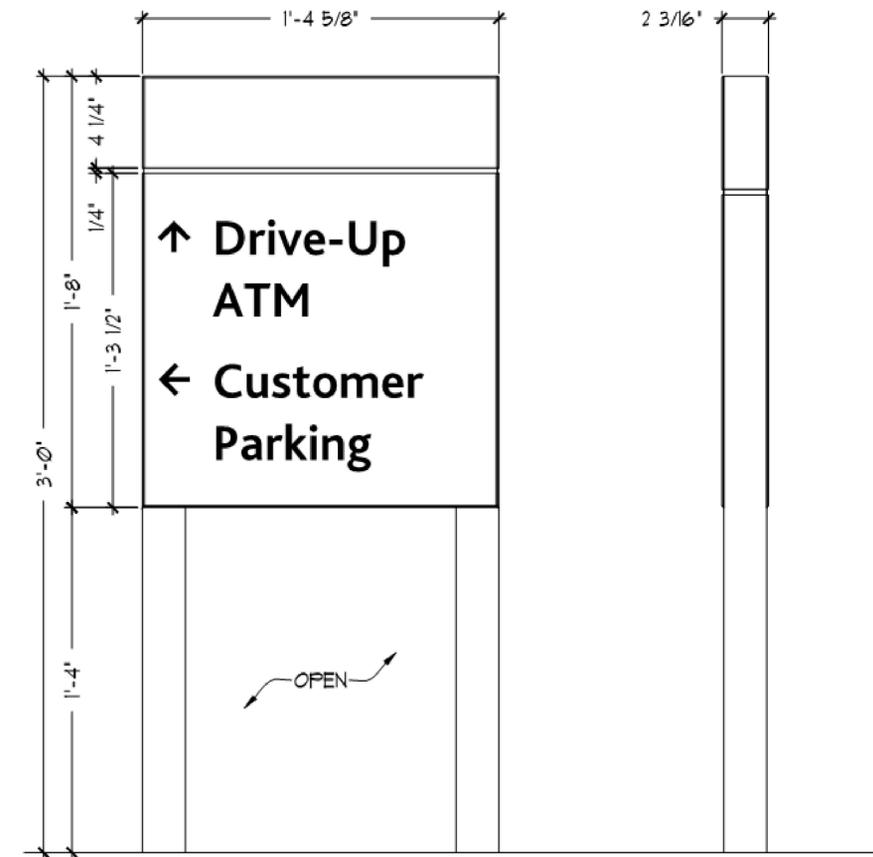
CHASE ILLUM CHANNEL LETTERS SIGN  
N.T.S.



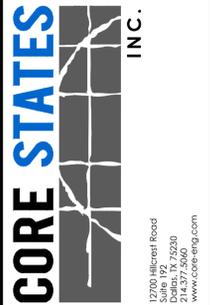
CHASE CLEARANCE BAR  
N.T.S.



CHASE MONUMENT SIGN  
N.T.S.



CHASE SINGLE-FACED NON-ILLUMINATED DIRECTIONAL SIGN  
N.T.S.



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CLIENT

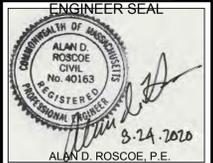


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DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION  
MAIN STREET &  
BAKER AVENUE  
1134 MAIN STREET  
CONCORD, MA 01742



SHEET TITLE  
SIGNAGE  
DETAILS

JOB #:	JPM-27599
DATE:	04/28/2020
SCALE:	AS SHOWN
DRAWN BY:	CC
CHECKED BY:	TP

SHEET NO.  
**CD-8**

