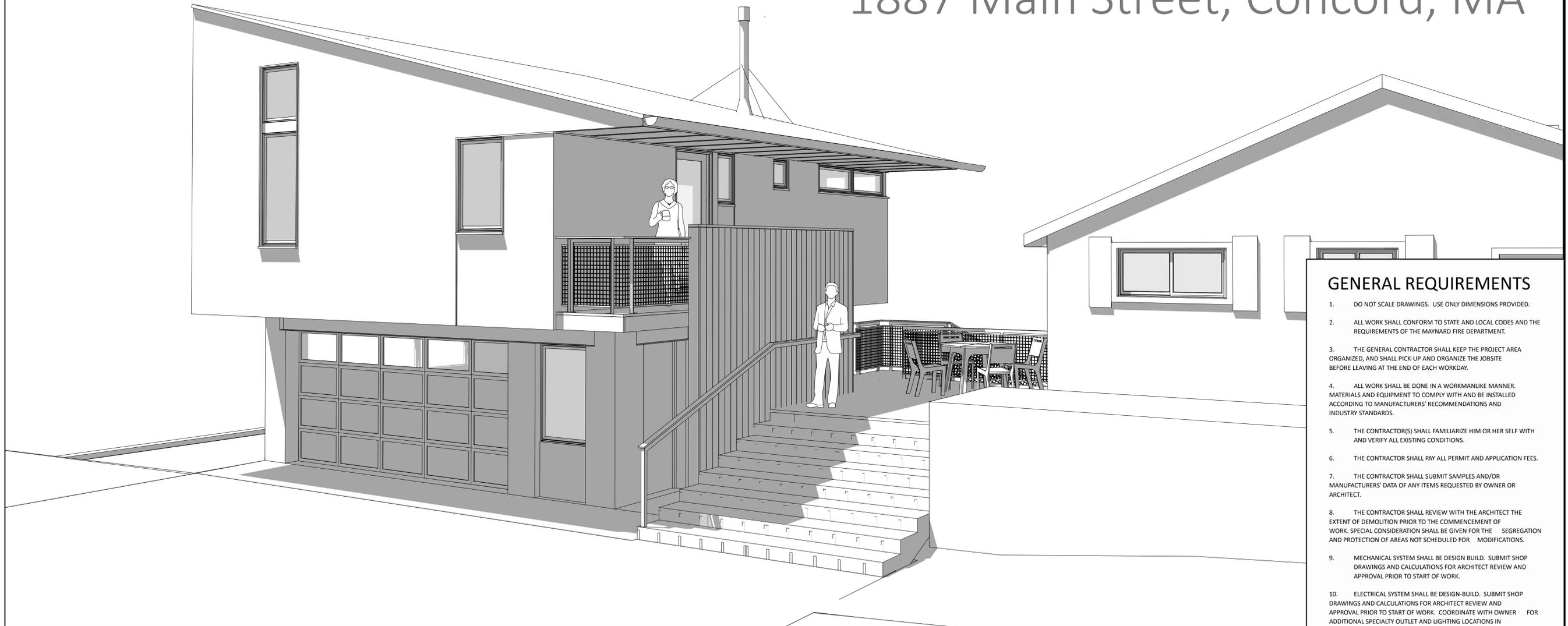


Muno Residence Garage + Studio

1887 Main Street, Concord, MA



GENERAL REQUIREMENTS

- DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS PROVIDED.
- ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES AND THE REQUIREMENTS OF THE MAYNARD FIRE DEPARTMENT.
- THE GENERAL CONTRACTOR SHALL KEEP THE PROJECT AREA ORGANIZED, AND SHALL PICK-UP AND ORGANIZE THE JOBSITE BEFORE LEAVING AT THE END OF EACH WORKDAY.
- ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER. MATERIALS AND EQUIPMENT TO COMPLY WITH AND BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS AND INDUSTRY STANDARDS.
- THE CONTRACTOR(S) SHALL FAMILIARIZE HIM OR HER SELF WITH AND VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PAY ALL PERMIT AND APPLICATION FEES.
- THE CONTRACTOR SHALL SUBMIT SAMPLES AND/OR MANUFACTURERS' DATA OF ANY ITEMS REQUESTED BY OWNER OR ARCHITECT.
- THE CONTRACTOR SHALL REVIEW WITH THE ARCHITECT THE EXTENT OF DEMOLITION PRIOR TO THE COMMENCEMENT OF WORK. SPECIAL CONSIDERATION SHALL BE GIVEN FOR THE SEGREGATION AND PROTECTION OF AREAS NOT SCHEDULED FOR MODIFICATIONS.
- MECHANICAL SYSTEM SHALL BE DESIGN-BUILD. SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO START OF WORK.
- ELECTRICAL SYSTEM SHALL BE DESIGN-BUILD. SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO START OF WORK. COORDINATE WITH OWNER FOR ADDITIONAL SPECIALTY OUTLET AND LIGHTING LOCATIONS IN ADDITION TO ITEMS IDENTIFIED WITHIN THE DOCUMENTS. INCLUDE LOW-VOLTAGE EQUIPMENT, SECURITY SYSTEM, DATA/NETWORK REQUIREMENTS PER OWNER REQUESTS.
- PLUMBING SYSTEM SHALL BE DESIGN-BUILD. SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO START OF WORK.

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TEAM

PROJECT NAME
**MUNO RESIDENCE
GARAGE+STUDIO**

CLIENT
MIKE & THANDI MUNO
1887 MAIN STREET
CONCORD, MA

PROJECT ADDRESS
1887 MAIN STREET
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PROJECT NUMBER
1910

DRAWN BY / CHECKED BY
JL

ISSUE DATE
05.15.2020

PHASE
Pricing Set

REVISIONS

SHEET TITLE
COVER SHEET

SHEET
T100

ABBREVIATIONS

RENDERINGS NOT FOR CONSTRUCTION

AC.	AIR CONDITIONING	CNTR.	COUNTER	FPHB.	FROST-PROOF HOSE BIBB	INV.	INVERT	NO.	NUMBER	REV.	REVISION/REVERSED	TYP.	TYPICAL
ACT.	ACOUSTIC TILE	CPT.	CARPET	FR.	FIRE RATED	JAN.	JANITOR	NOM.	NOMINAL	RM.	ROOM	UL.	UNDERWRITERS LABORATORIES
AFF.	ABOVE FINISHED FLOOR	CTR.	CENTER	FT.	FOOT/FEET	JST.	JOIST	NTS.	NOT TO SCALE	RO.	ROUGH OPENING	UON.	UNLESS OTHERWISE NOTED
AHU.	AIR HANDLING UNIT	DBL.	DOUBLE	FTG.	FOOTING	JST. BRG.	JOIST BEARING	OA.	OVERALL	R.O.D.	ROOF OVERFLOW DRAIN	VCT.	VINYL COMPOSITION TILE
ALT.	ALTERNATE	DEMO.	DEMOLITION, DEMOLISH	FURN.	FURNISHINGS/FURNITURE	JT.	JOINT	OC.	ON CENTER	RTU.	ROOFTOP UNIT	VERT.	VERTICAL
AL.	ALUMINUM	DET.	DETAIL	FURR.	FURRING	LAV.	LAVATORY	OD.	OUTSIDE DIAMETER	S.	SOUTH	VIF	VERIFY IN FIELD
ALUM.	APPROXIMATELY	DF.	DRINKING FOUNTAIN	FVC.	FIRE VALVE CABINET	LB.	POUND	OH.	OVERHEAD	S.S.	SERVICE SINK	w/, w/o	WITH/WITHOUT
APPROX.	ARCHITECT/ARCHITECTURAL	DIA.	DIAMETER	GA.	GALVE	LG.	LONG	OPP.	OPPOSITE	SAN.	SANITARY	W.	WEST
ARCH.	BUILDING	DIM.	DIMENSION	GALV.	GALVANIZED	LIN.	LINEAR	OS.	OVERFLOW SCUPPER	SCHED.	SCHEDULE	WC.	WATER CLOSET
BLDG.	BLOCK	DN.	DOWN/DRAWING NORTH	GC.	GENERAL CONTRACTOR	LLH.	LONG LEG HORIZONTAL	PZ.	OUNCE	SECT.	SECTION	WD.	WOOD
BLK.	BENCH MARK	DO.	DOOR OPENING	GEN.	GENERAL	LLV.	LONG LEG VERTICAL	PR.	PAIR	SF.	SQUARE FEET	WT.	WEIGHT
B.M.	BEAM	DS.	DOWNSPOUT	GFRG.	GLASS-FIBER REINFORCED CONCRETE	L.P.	LOW POINT	PC.	PRE-CAST	SHT.	SHEET	WWF	WELDED WIRE FABRIC
BM.	BENT PLATE	DW.	DISHWASHER	GFRG.	GLASS-FIBER REINFORCED GYPSUM	LT.	LIGHT	PL.	PLATE	SIM.	SIMILAR		
BP.	BOTTOM OF	DWG.	DRAWINGS	GL.	GLASS/GLAZING	M.	METER	PLAM.	PLASTIC LAMINATE	SPEC.	SPECIFICATIONS		
B/	BOTTOM	DWR.	DRAWER	G.S.	GRAVEL STOP	MAS.	MASONRY	PLUMB.	PLUMBING/PLUMBER	SQ.	SQUARE		
BTM.	CABINET	E.	EAST	GB.	GYPSUM BOARD	MAX.	MAXIMUM	PLYVD.	PLYWOOD	SST.	STAINLESS STEEL		
CAB.	CATCH BASIN	EA.	EACH	GWH.	GAS WATER HEATER	MECH.	MECHANICAL	POL.	POLISHED	STE.	SUITE		
C.B.	CONSTRUCTION DOCUMENTS	EIFS.	EXTERIOR INSULATION + FINISHING SYSTEM	H.B.	HOSE BIBB	MEP.	MECHANICAL ELECTRICAL + PLUMBING	PRE. FIN.	PRE-FINISHED	STD.	STANDARD		
CD.	CEMENT	EL., ELEV.	ELEVATION	H.C.	HANDICAPPED/HOLLOW CORE	MFR.	MANUFACTURER	PERP.	PERPENDICULAR	STL.	STEEL		
CEM.	CONTROL JOINT	ELEC.	ELECTRICAL	HW.	HARDWARE	MH.	MANHOLE	PG.	PAINT GRADE	STRUCT.	STRUCTURAL/STRUCTURE		
CJ.	CENTER LINE	EJ.	EXPANSION JOINT	HDWD.	HARDWOOD	MIC.	MICROWAVE	P.L., P.L.	PROPERTY LINE/PLATE	SUSP.	SUSPENDED		
CL.	CLOSET	EQ.	EQUAL/EQUIPMENT	HM.	HOLLOW METAL	MIN.	MINIMUM	PROJ.	PROJECTED/PROJECTION	T/	TOP OF		
CLO.	CLEAR/CLEARANCE	EQUIP.	EQUIPMENT	HORIZ.	HORIZONTAL	MISC.	MISCELLANEOUS	P.S.	PARAPET STEP	T+G	TONGUE AND GROOVE		
CLR.	CEILING	EW.H.	ELECTRIC WATER HEATER	H.P.	HIGH POINT	M.O.	MASONRY OPENING	PT.	POINT/PRESSURE TREATED	TCNA	TILE COUNCIL OF NORTH AMERICA		
CLG.	CONSTRUCTION MANAGER	EX.EXIST.	EXISTING	HR.	HOOR	MR.	MOISTURE RESISTANT	PTD.	PAINTED	TBD.	TO BE DETERMINED		
CM.	CERAMIC MOSAIC TILE	EXP.	EXPANSION	HTG.	HEATING	MTD.	MOUNTED	PV.	PHOTOVOLTAIC	TERR.	TERRAZZO		
CMT.	CONCRETE MASONRY UNIT	EXT.	EXTERIOR	HVAC.	HEATING VENTILATION + AIR CONDITIONING	MTL.	METAL	QTY.	QUANTITY	THK.	THICK		
CMU.	COLUMN	FD.	FLOOR DRAIN	HYD.	HYDRANT	MULL.	MULLION	R.	RADIUS	THRESH.	THRESHOLD		
COL.	CONCRETE	FDN.	FOUNDATION	ID.	INSIDE DIAMETER	N.	NORTH	RAD.	RADIUS/RADIAN	TOB.	TOP OF BEAM		
CONC.	CONSTRUCTION	FE.	FIRE EXTINGUISHER	IN.	INCH/INCHES	NA.	NOT APPLICABLE	RCP.	REFLECTED CEILING PLAN	TOC.	TOP OF CONCRETE		
CONSTR.	CONTINUOUS	FIN.	FINISH	INFO	INFORMATION	NFPA.	NATIONAL FIRE PROTECTION ASSOCIATION	RD.	ROOF DRAIN	TOF.	TOP OF FOOTER		
CONT.	CONTRACTOR	FLR.	FLOOR	INSUL.	INSULATION	NGVD.	NATIONAL GEODETIC VERTICAL DATUM	REF.	REFERENCE/REFRIGERATOR	TOP.	TOP OF PARAPET		
CONTR.	COURSE	FLUDR.	FLUORESCENT	INT.	INTERIOR	NIC.	NOT IN CONTACT	REIN.	REINFORCED/REINFORCEMENT	TOS.	TOP OF SLAB		
CRS.	CERAMIC TILE	F.O.	FACE OF			NO.	NUMBER	REQ.	REQUIRED	TOW.	TOP OF WALL		
CT.													

DRAWING LIST

T100 - TITLE SHEET

A100 - SITE PLAN
A101 - FOUNDATION PLAN
A102 - FLOOR PLANS
A200 - ELEVATIONS
A300 - SECTIONS
A500 - DETAILS
A501 - DECK RAILINGS
A502 - BALCONY AND RAILING DETAILS

S100 - FRAMING PLANS
S101 - DECK FRAMING

E100 - ELECTRICAL PLAN

I202 - BATHROOM INTERIOR

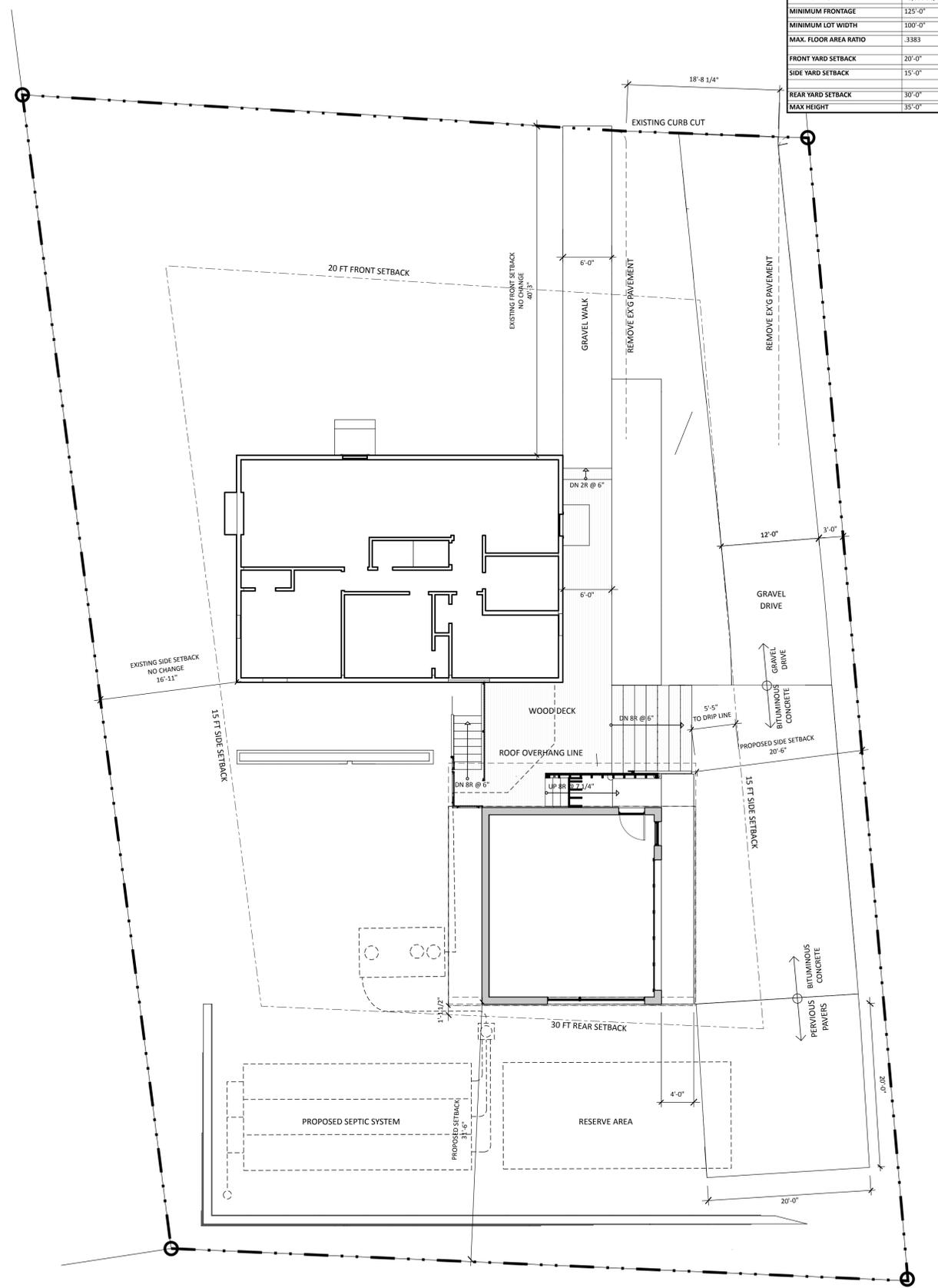
ZONING ANALYSIS
PER CONCORD ZONING BYLAWS 5.6.1 p.p. 33-41
TABLE III

ZONE	RESIDENTIAL B		PROPOSED
	DIMENSIONAL REQUIREMENTS	EXISTING CONDITIONS	
MINIMUM LOT SIZE	20,000 SQ.FT	12,205 SQ.FT	NO CHANGE
MINIMUM FRONTAGE	125'-0"	96'-8"	NO CHANGE
MINIMUM LOT WIDTH	100'-0"	90'-0"	NO CHANGE
MAX. FLOOR AREA RATIO	.3383	.2002	.3041
FRONT YARD SETBACK	20'-0"	40'-3"	NO CHANGE
SIDE YARD SETBACK	15'-0"	33'-0" EAST SIDE 15'-11" WEST SIDE	20'-10" NO CHANGE
REAR YARD SETBACK	30'-0"	71'-4"	31'-0"
MAX HEIGHT	35'-0"	15'-0"	22'-0"

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1 SITE PLAN
SCALE: 1/8" = 1'-0"



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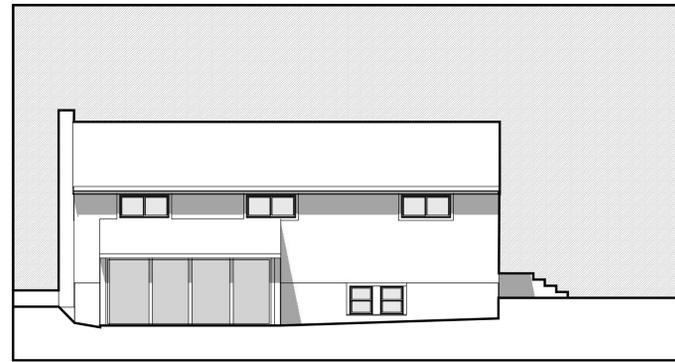
ISSUE DATE
05.15.2020

PHASE
Pricing Set

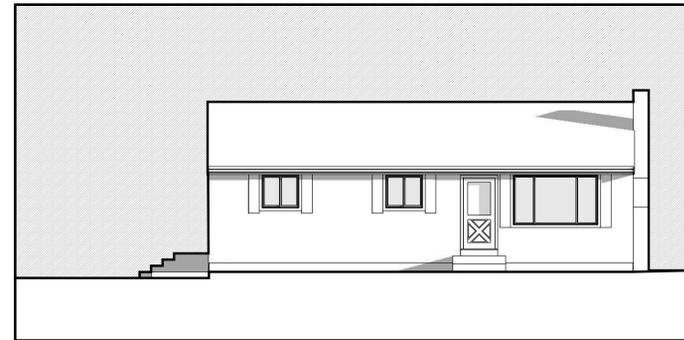
REVISIONS

SHEET TITLE
SITE PLAN

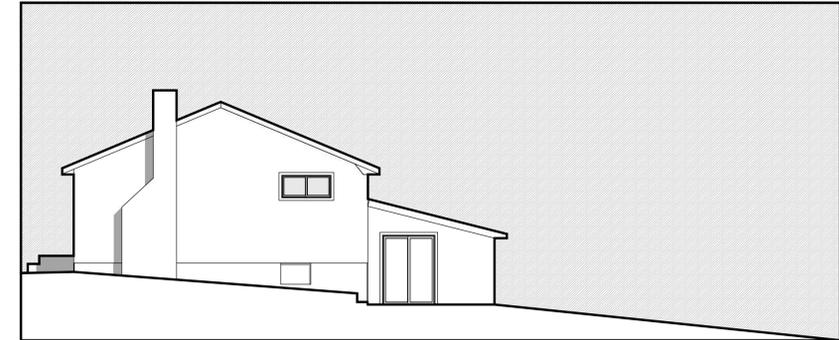
SHEET
A100



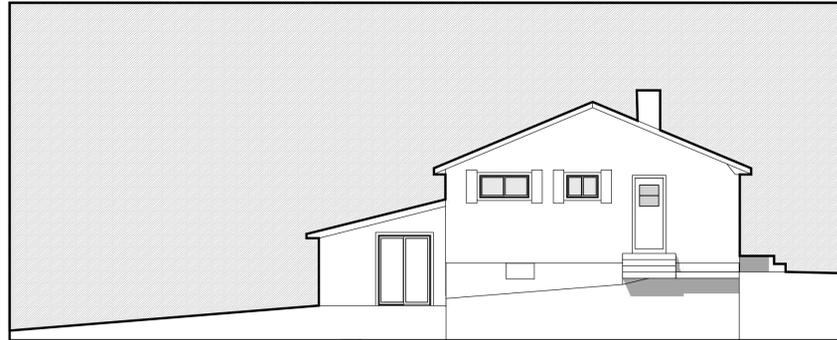
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



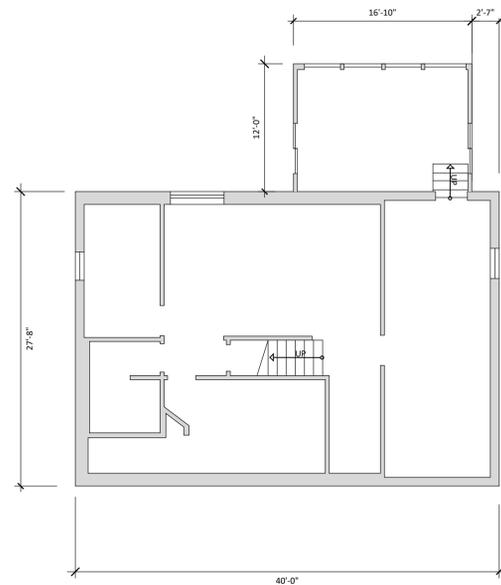
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



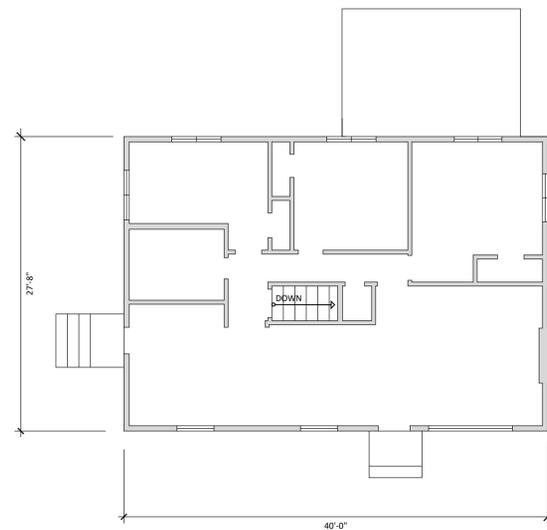
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



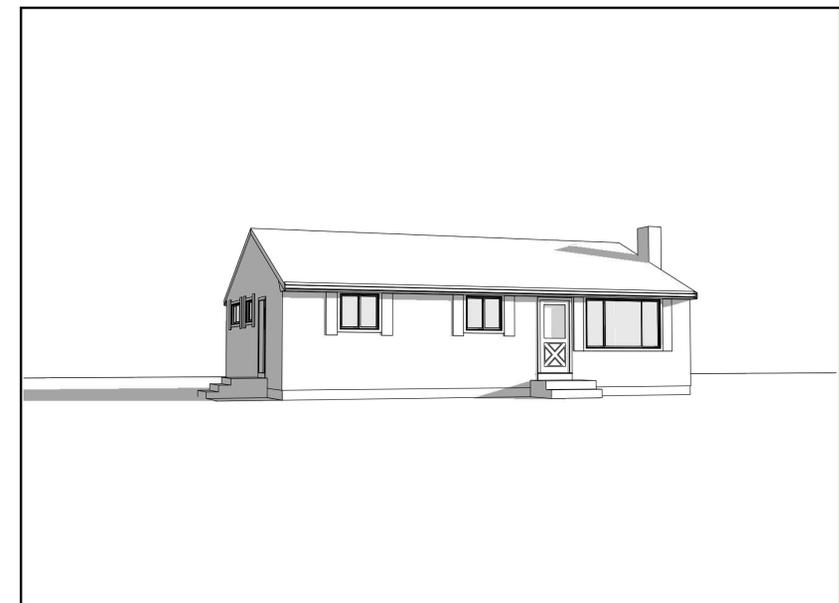
6 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



PERSPECTIVE VIEW FROM MAIN STREET - EXISTING CONDITIONS

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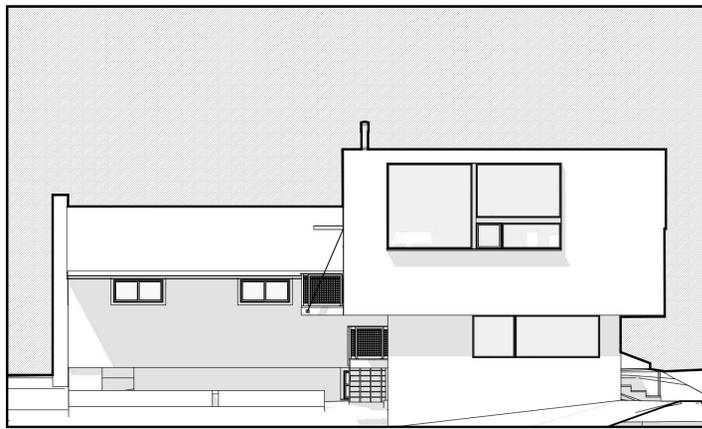
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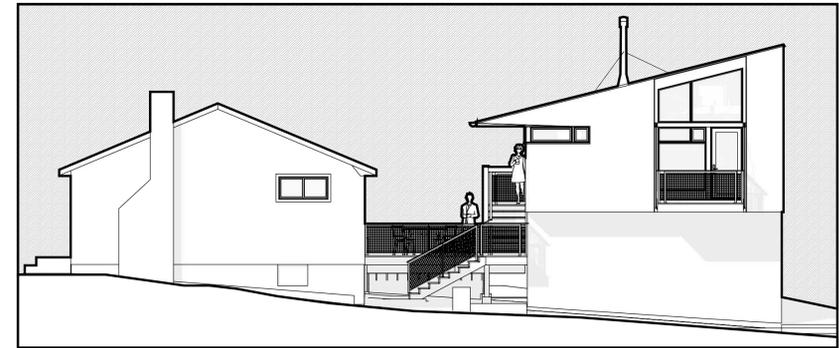
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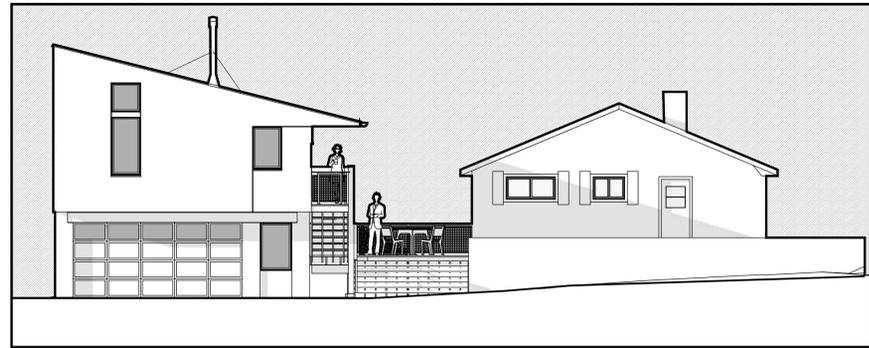
4 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"



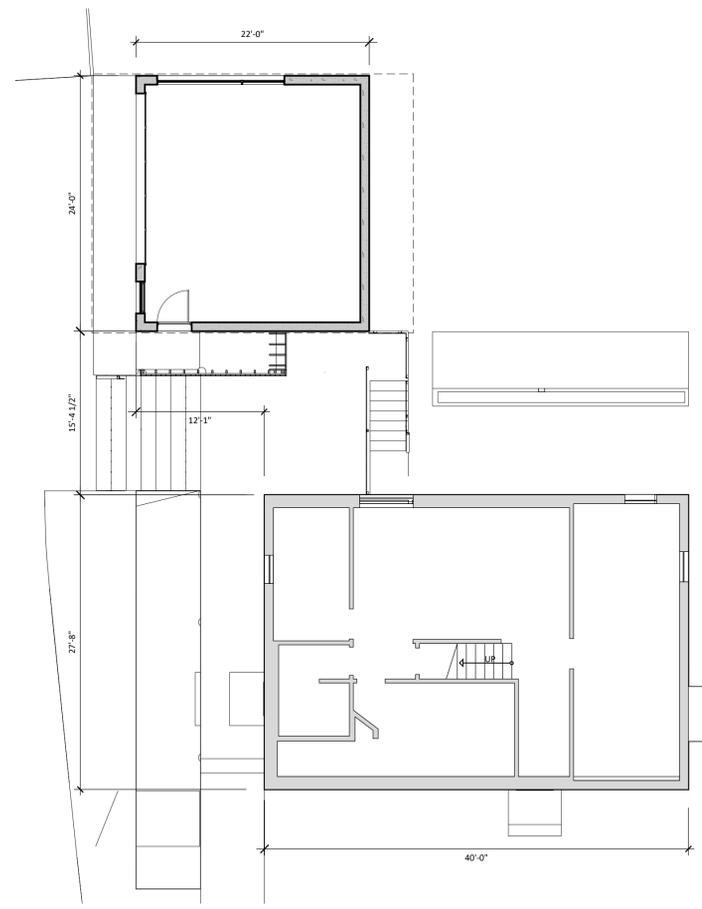
3 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"



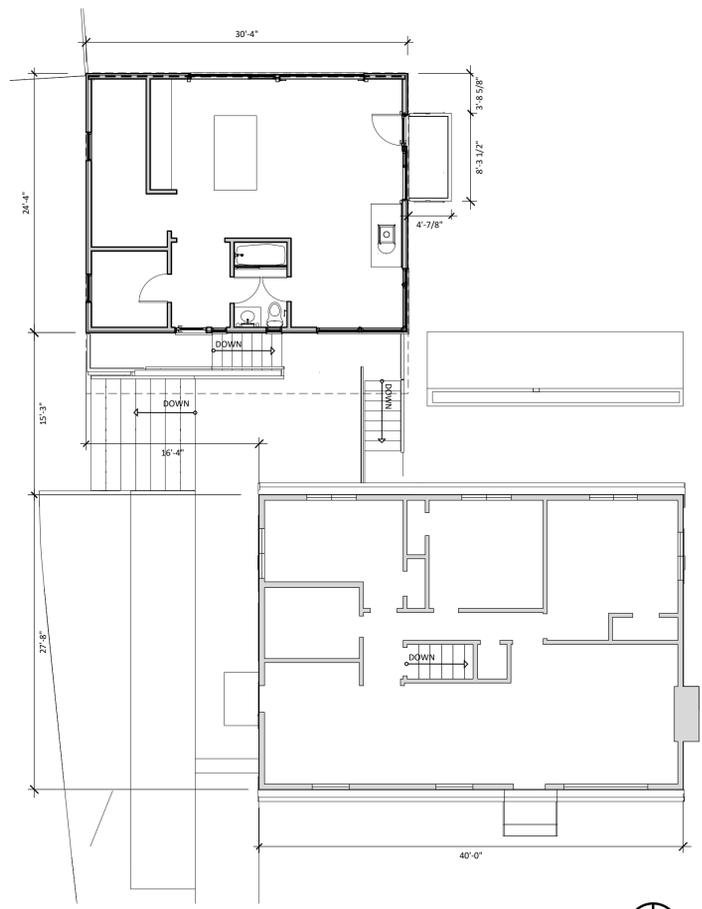
1 WEST ELEVATION
SCALE: 1/8" = 1' - 0"



6 EAST ELEVATION
SCALE: 1/8" = 1' - 0"



5 FIRST FLOOR PLAN
SCALE: 1/8" = 1' - 0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1' - 0"



PERSPECTIVE VIEW FROM MAIN STREET - PROPOSED DESIGN

PROJECT NAME

MUNRO RESIDENCE

CLIENT

MIKE & THANDI MUNRO
1887 MAIN STREET
CONCORD, MA

PROJECT ADDRESS

1887 MAIN STREET
CONCORD, MA

PROJECT NUMBER

1910

DRAWN BY / CHECKED BY

JL

ISSUE DATE

08.03.2020

PHASE

SPECIAL PERMIT APPLICATION

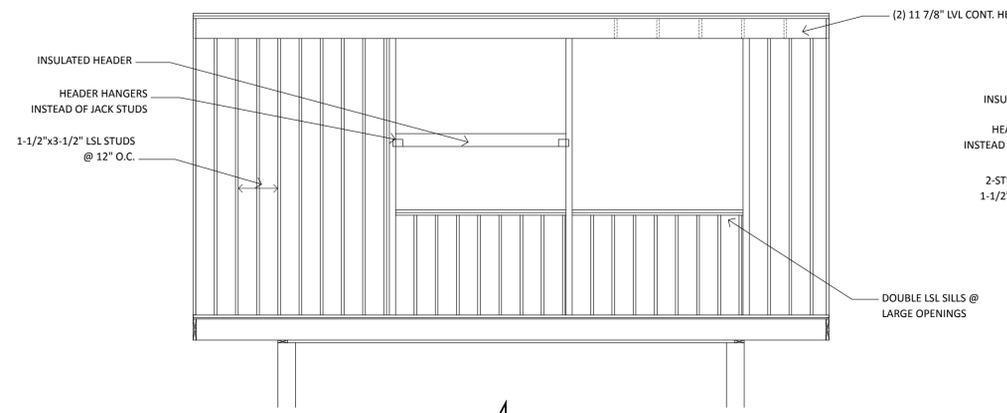
REVISIONS

SHEET TITLE

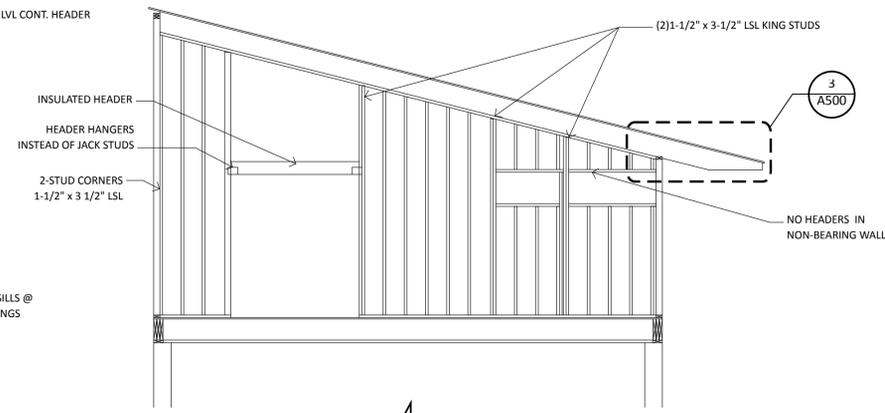
PROPOSED DESIGN

SHEET

SP.002



4 SOUTH FRAMING ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST FRAMING ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW AND FRENCH DOOR SCHEDULE

MARK	QTY	MFG	MODEL #	UNIT SIZE	ROUGH OPENING	COMMENTS
A	1	PELLA	CUSTOM	1'-5" x 2'-5"	1'-5 3/4" x 2'-5 3/4"	AWNING
B	3	PELLA	4717	3'-11" x 1'-5"	3'-11 3/4" x 1'-5 3/4"	AWNING
C	3	PELLA	1717	1'-5" x 1'-5"	1'-5 3/4" x 1'-5 3/4"	LARGE AWNING
D	1	PELLA	CUSTOM	4'-6 1/2" x 4'-6 1/2"	4'-7 1/4" x 4'-7 1/4"	DIRECT SET
E	1	PELLA	3682	3'-0" x 6'-9 1/2"	3'-0 3/4" x 6'-9 1/4"	INSWING FRENCH DOOR
F	1	PELLA	CUSTOM	3'-1 1/2" x 1'-5"	3'-2 1/4" x 1'-5 3/4"	DIRECT SET
G	1	PELLA	CUSTOM	3'-1 1/2" x 3'-1 1/16"	3'-2 1/4" x 3'-1 3/8"	DIRECT SET CUSTOM SHAPE
H	1	PELLA	CUSTOM	4'-10 1/4" x 5'-1 5/8"	4'-11" x 5'-1 3/8"	DIRECT SET CUSTOM SHAPE
I	1	PELLA	CUSTOM	8'-0" x 8'-0"	8'-0 3/4" x 8'-0 3/4"	DIRECT SET
J	1	PELLA	2929	2'-5" x 2'-5"	2'-5 3/4" x 2'-5 3/4"	AWNING
K	1	PELLA	CUSTOM	5'-7" x 2'-5"	5'-7 3/4" x 2'-5 3/4"	DIRECT SET
L	1	PELLA	CUSTOM	8'-0" x 5'-1"	8'-0 3/4" x 5'-1 3/4"	DIRECT SET
M	1	PELLA	3365	2'-8 3/4" x 5'-3 1/4"	2'-8 3/4" x 5'-3 1/4"	LARGE AWNING
N	1	PELLA	3232	2'-8" x 2'-8"	2'-8 3/4" x 2'-8 3/4"	LARGE AWNING
O	1	PELLA	3247	2'-8" x 3'-11"	2'-8 3/4" x 3'-11 3/4"	LARGE AWNING
P	1	PELLA	3553	2'-11" x 4'-5"	2'-11 3/4" x 4'-5 3/4"	LARGE AWNING
Q	1	PELLA	4747	3'-11" x 3'-11"	4'-0" x 4'-0"	LARGE AWNING
R	1	PELLA	CUSTOM	7'-11" x 3'-11"	8'-0" x 4'-0"	DIRECT SET

ALL WINDOWS TO BE PELLA "ARCHITECT SERIES CONTEMPORARY", "IRON ORE" EXTERIOR FINISH, CLEAR PINE INTERIOR.

DOOR SCHEDULE

MARK	MFG	MODEL	MATERIAL	WxH	COMMENTS
1	CLOPAY	AVANTE AV	ALUM.	16'-0" x 7'-0"	GARAGE DOOR, CLEAR ANODIZED, SOLID PANEL
2	TBD	TBD	TBD	3'-0" x 7'-0"	ENTRY
3	TBD	TBD	TBD	3'-0" x 6'-8"	ENTRY
4	TBD	TBD	TBD	2'-8" x 6'-8"	
5	TBD	TBD	TBD	2'-6" x 6'-8"	
6	TBD	TBD	TBD	2'-4" x 6'-8"	

ROOFING NOTES

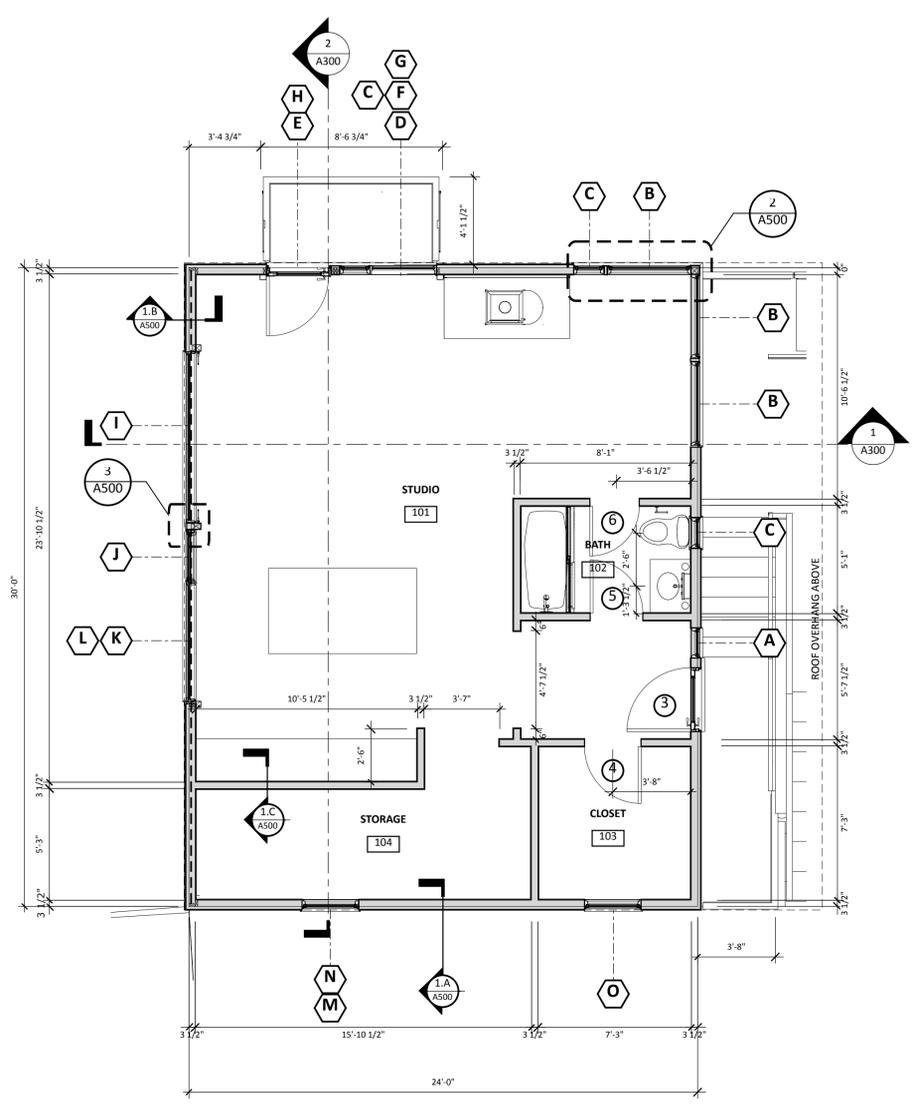
- NEW 40-YEAR ASPHALT ROOFING SYSTEM PER MANUFACTURER REQUIREMENTS.
- ALL ROOFING SYSTEMS SHALL BE FULLY ADHERED, OR OTHERWISE PROVIDE SELF-ADHERING ICE BARRIER TO PREVENT ICE DAMMING AT THE PERIMETER OF SYSTEM FOR A MINIMUM OF 24" WITHIN THE ROOF AREA.

GENERAL PLAN NOTES

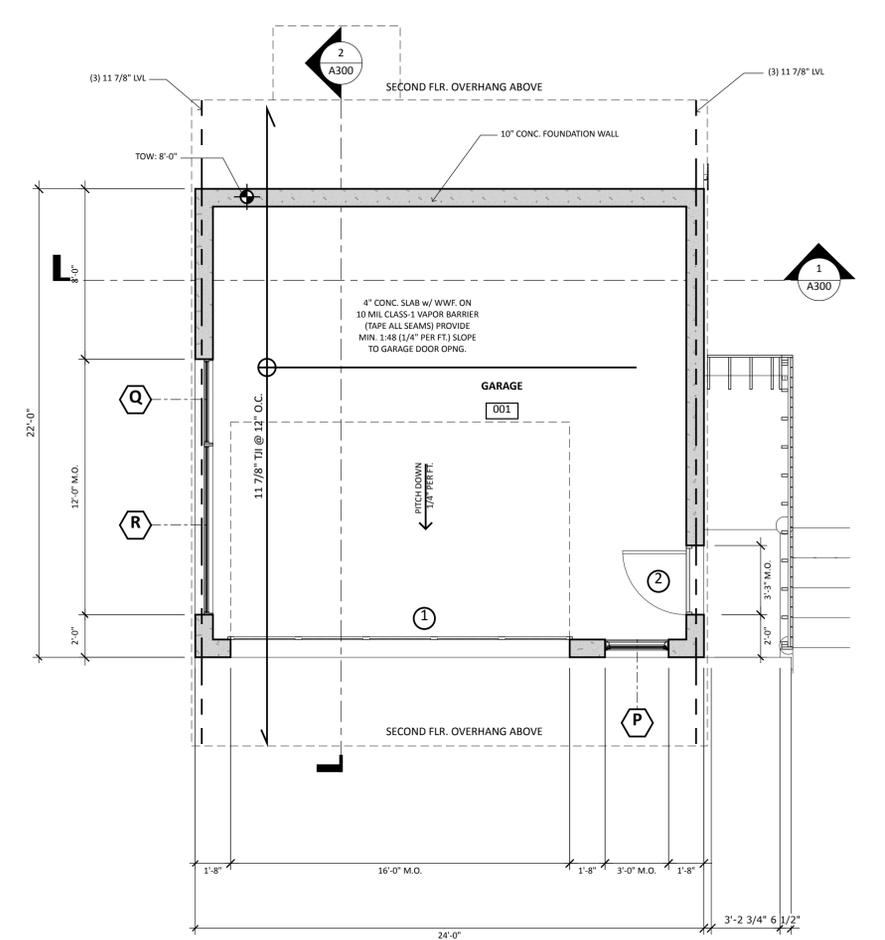
- INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD. WINDOWS AND DOORS ARE DIMENSIONED TO THEIR CENTERLINES, UON.
- VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES, FIXTURES, ASSEMBLIES, AND EQUIPMENT PRIOR TO FRAMING PARTITIONS, ORDERING CABINETS, OR FABRICATING MILLWORK.
- ALL DOWNSPOUTS SHALL BE PIPED BELOW GRADE TO CARRY WATER AWAY FROM FOUNDATION AND SITE RETAINING WALLS.
- ALL HANDRAILS SHALL BE 36" ABOVE SLOPED PLANE ADJOINING THE TREAD NOSINGS. ALL HANDRAILS SHALL BE RETURNED. ALL HANDRAILS SHALL BE 36" ABOVE SLOPED PLANE ADJOINING THE TREAD NOSINGS.
- FLOOR FINISHES SHALL BE DETERMINED BY OWNER. HEIGHT OF THICKNESS. CONFIRM FINISHES PRIOR TO FINAL FRAMING OF ITEMS SUCH AS: INT. DOORS AND STAIR TREADS.

FRAMING NOTES

- ALL FOOTINGS SHALL BE A MIN. OF 48" BELOW FINISHED GRADE.
- ALL EXT. WALLS SHALL BE 2x4 STUD FRAMING, UON. ALL INT. WALLS SHALL BE 2x4, UON. WALL THICKNESS. ALL BEAMS IDENTIFIED AS LVLS SHALL BE PARALLAM OR GANGLAM OF 1-3/4" WIDTH, UON.
- PROVIDE ALL FASTENERS PER IRC. R602.3(1) FASTENING SCHEDULE FOR STRUCTURAL MEMBERS.
- SHEAR WALL ASSEMBLY REQUIREMENTS: CONSTRUCT EXT. WALLS AS PER BRACED WALL METHOD CS-WSP, PER IRC. R602.10. SHEATHING SHALL BE ANCHORED USING MIN. 8D NAILS 6" OC. (EDGE), AND 12" OC. (FIELD). PROVIDE STUD DEPTH BLOCKING AT ALL SHEATHING JOINTS NOT LOCATED ON A STUD. PROVIDE VEE SHEATHING WHEN FULL HT. WALL AREA IS LESS THAN 34" IN WIDTH. SEE PLAN FOR POSTS AND CONT. BEAM REQUIREMENT.
- ALL POST/BEAMS CONNECTIONS TO HAVE METAL CAPS OR (1) KING STUD ON EACH END.
- ALL HEADERS TO HAVE (1) KING STUD ON EA. END.
- FLOOR AND ROOF SHEATHING SHALL BE 3/4" CDX STC I FIR PLY. SUBFLOOR SHEATHING SHALL BE GLUED AND NAILED TO ALL FLOOR JOISTS AND BEAMS. WALL SHEATHING SHALL BE MIN. 7/16" OSB.
- RIM JOISTS SHALL BE (1) 1-1/4" LSL OR (1) 2x8, UON. PROVIDE (2) JOIST BAYS SOLID WD. BLOCKING 48" OC. WHERE JOISTS RUN PARALLEL TO FDN. WALL.
- ALL WOOD IN CONTACT w/ CONCRETE SHALL BE PRESSURE-TREATED.
- ALL CONNECTORS TO BE MANUF. BY SIMPSON STRONGTIE, UON.
- COORD. ALL OPNGS. w/ MANUF. REQUIREMENTS.
- PROVIDE (2) JOIST MEMBERS AT ALL PARALLEL WALL LOCATIONS.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SEAL

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TEAM

PROJECT NAME

MUNO RESIDENCE
GARAGE+STUDIO

CLIENT

MIKE & THANDI MUNO
1887 MAIN STREET
CONCORD, MA

PROJECT ADDRESS

1887 MAIN STREET
CONCORD, MA

PROJECT NUMBER

1910

DRAWN BY / CHECKED BY

JL

ISSUE DATE

05.15.2020

PHASE

Pricing Set

REVISIONS

SHEET TITLE

FLOOR PLANS

SHEET

A102

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Studio InSitu Architects, Inc.

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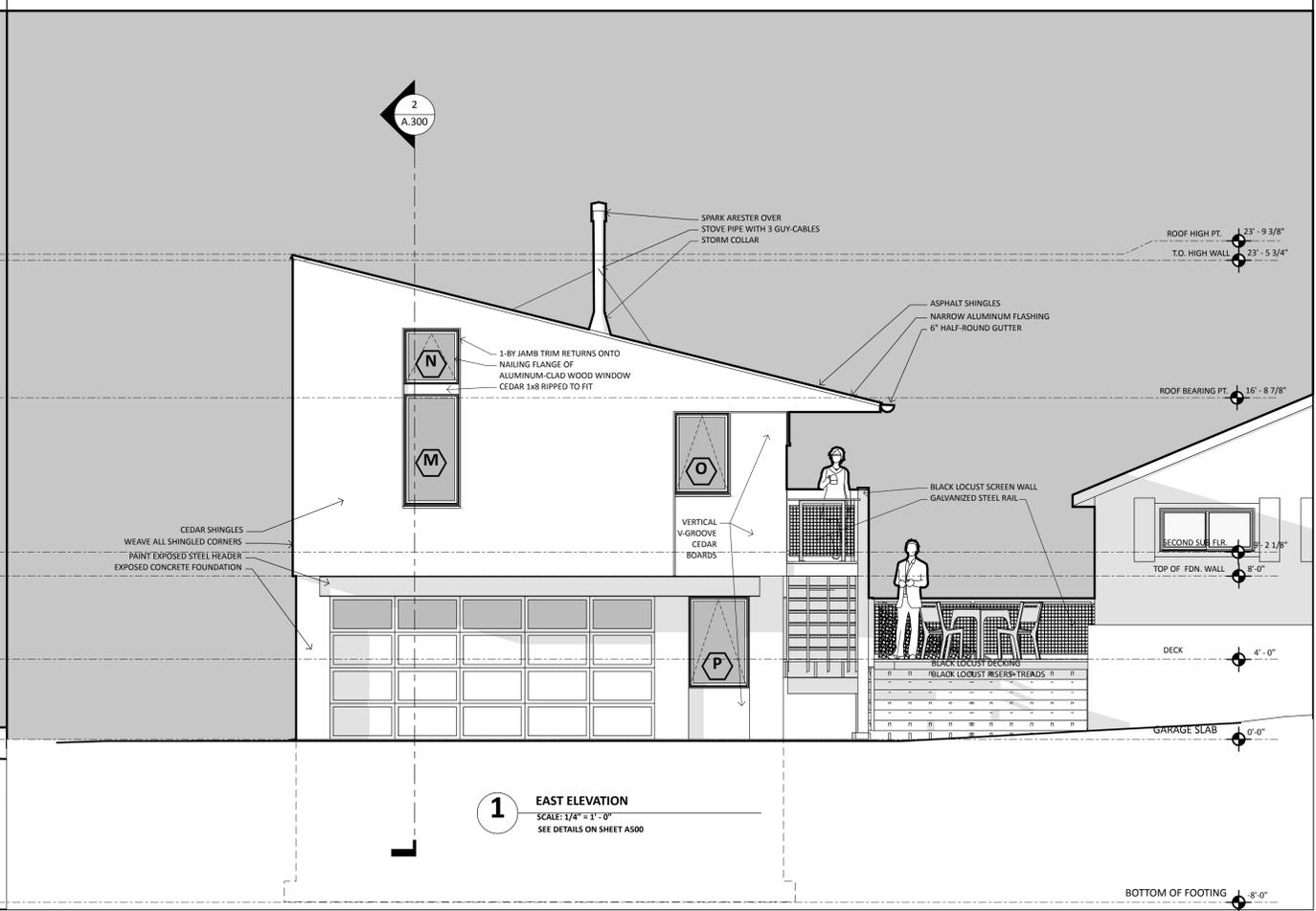
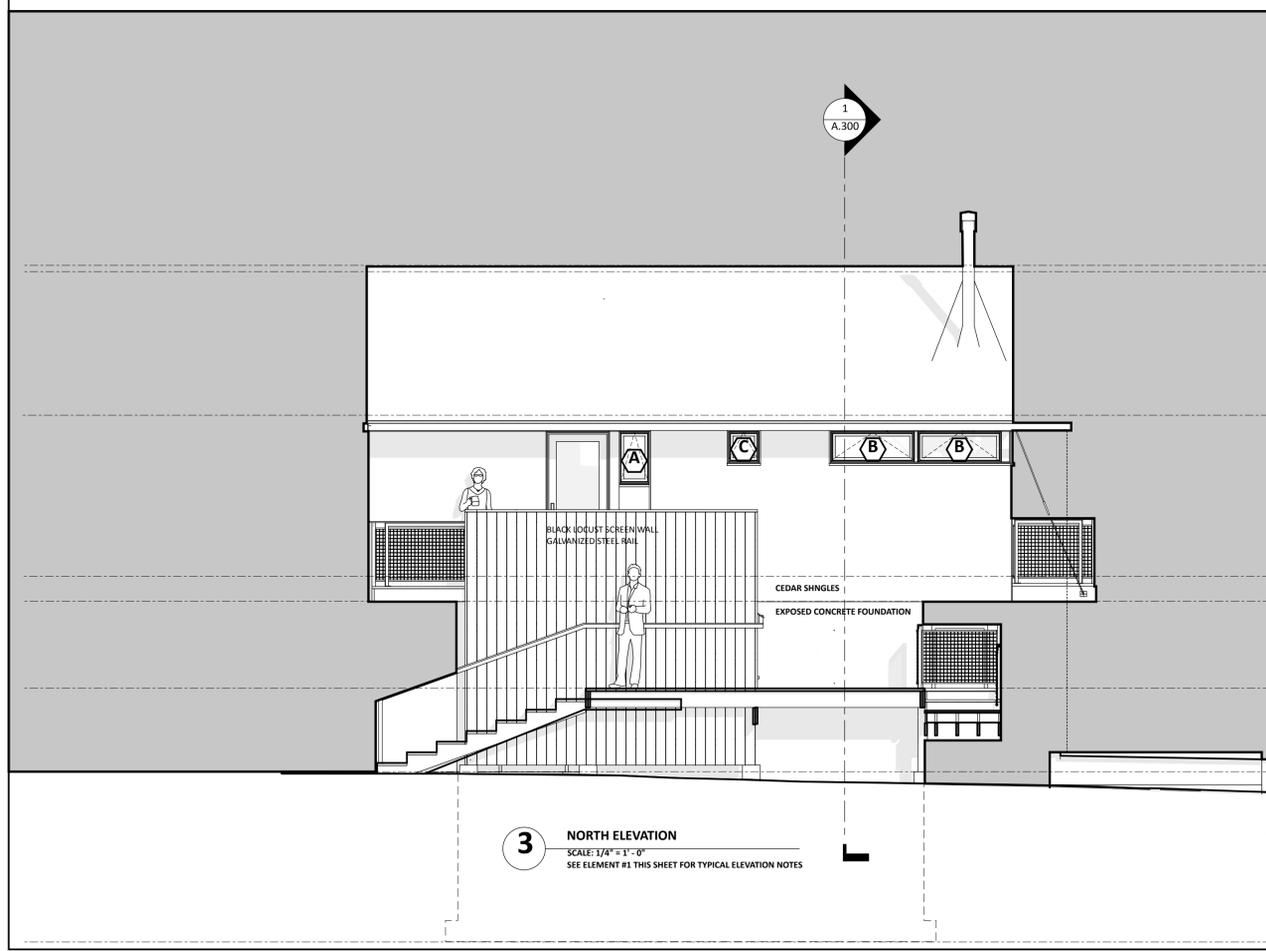
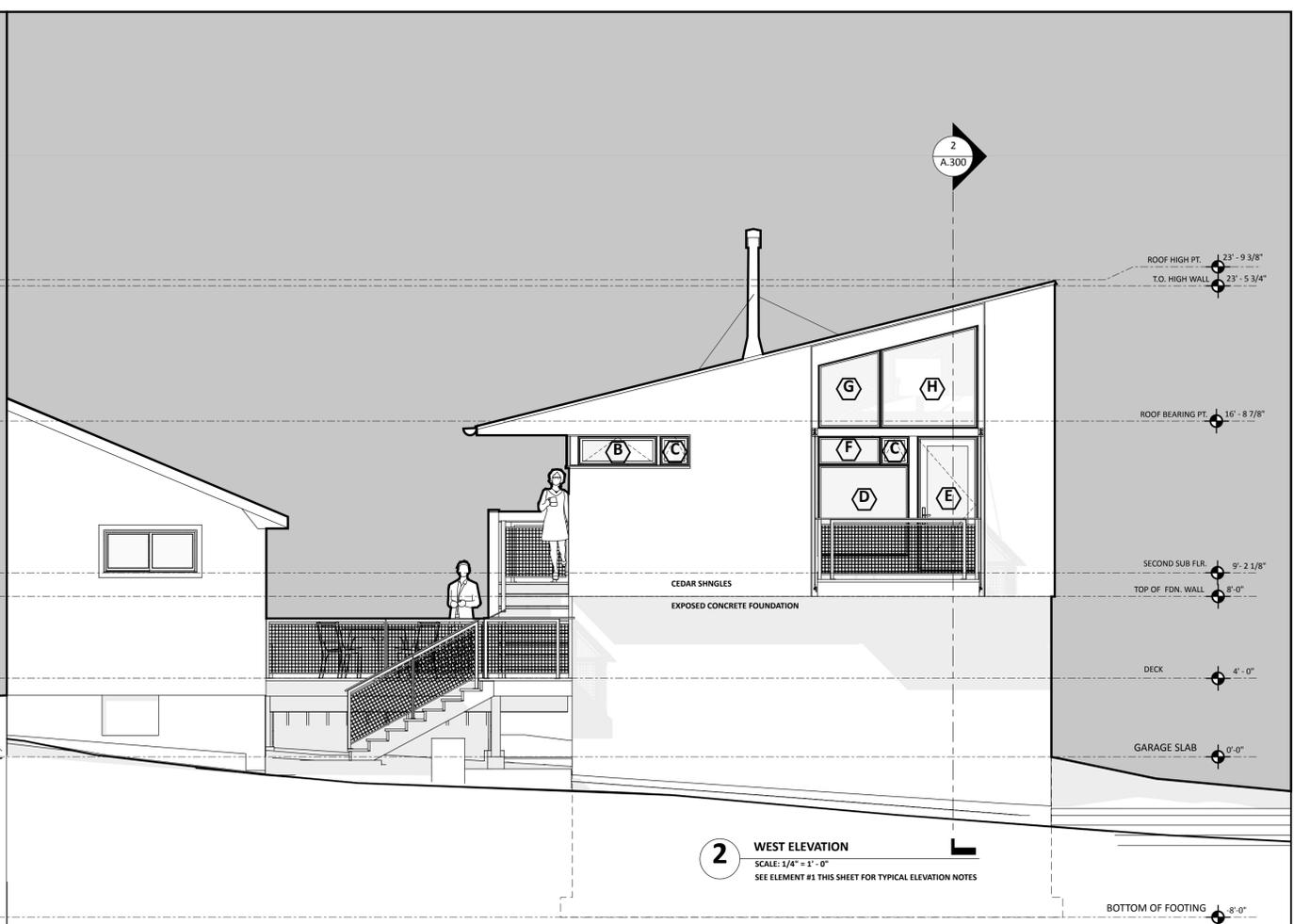
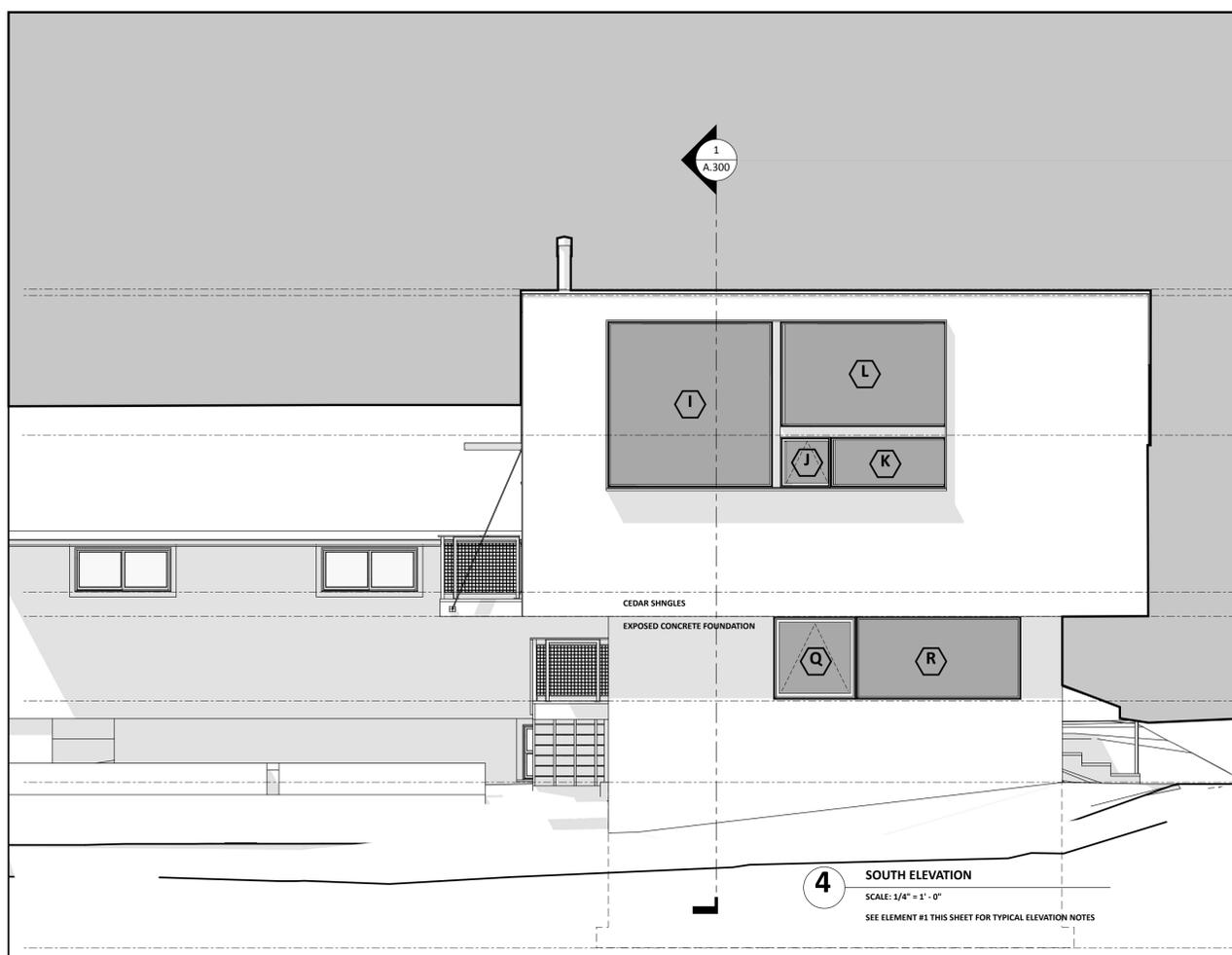
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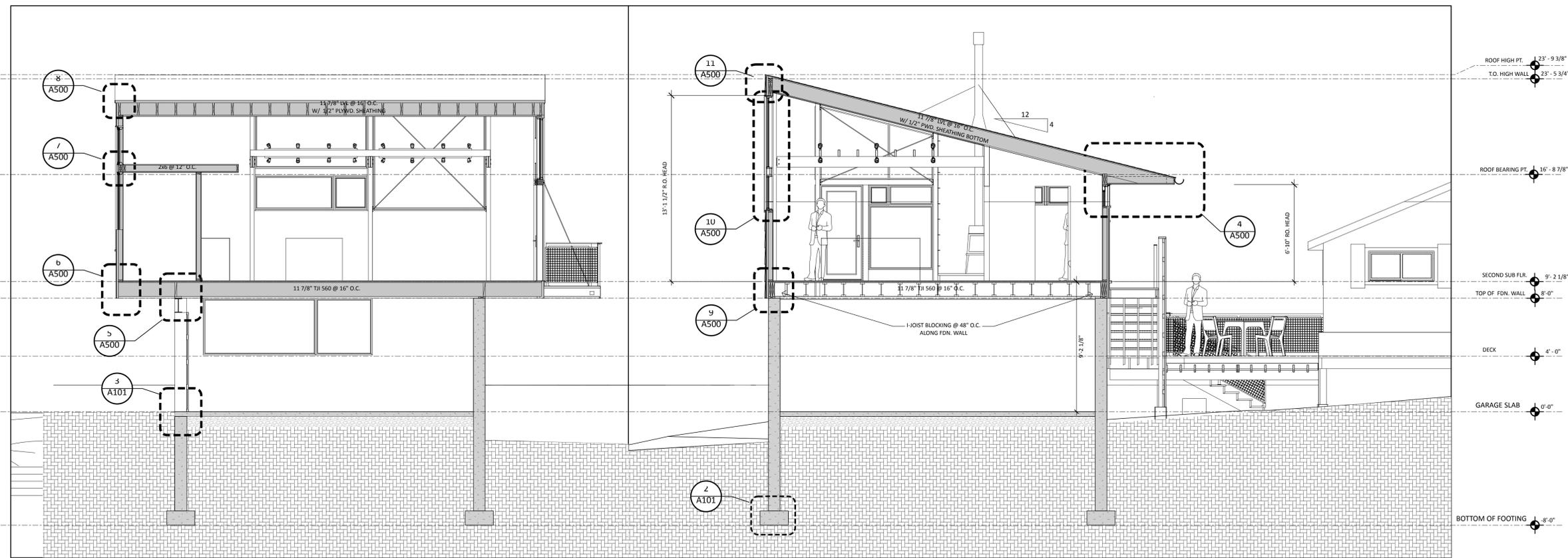
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REVISIONS

SHEET TITLE
ELEVATIONS

SHEET
A200





2 SECTION 2
SCALE: 1/4" = 1'-0"

1 SECTION N-S
SCALE: 1/4" = 1'-0"

- ROOF HIGH PT. 23'-9 3/8"
- T.O. HIGH WALL 23'-5 3/4"
- ROOF BEARING PT. 16'-8 7/8"
- SECOND SUB FLR. 9'-2 1/8"
- TOP OF FDN. WALL 8'-0"
- DECK 4'-0"
- GARAGE SLAB 0'-0"
- BOTTOM OF FOOTING 4'-0"