

Town of Concord  
 Zoning Board of Appeals  
 141 Keyes Road  
 Concord, MA 01742  
 Tel: (978) 318-3295  
[www.concordma.gov](http://www.concordma.gov)  
 Rev. July 2019



# Zoning Board of Appeals Application

*Nonconforming Use and/or Structure*

**Town Use Only**

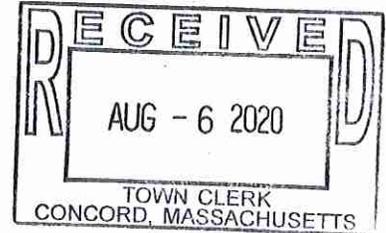
Received by Clerk of the Board:

Town Clerk Stamped Received

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Town of Concord  
 Board of Appeals



Application Fee: \_\_\_\_\_

Hearing Date: \_\_\_\_\_

## 1 Application Information

This Application is for:     Special Permit     Variance  
     Appeal from a decision of the Building Inspector/Zoning Enforcement Officer

Sections of the Zoning Bylaw Applicable to Application: 7.1.5(a), 7.1.5(b) 7.1.3

alteration to a structure located on a lot with insufficient area and frontage which alteration complies with all current setback, yard, building coverage, maximum floor area ratio, and building height requirements.

## 2 Property Information

Address:	1887 Main Street	Parcel ID #:	4544
Zoning District:	Residence B	Total Land Area:	12,205 sf
Present Use:	Single-Family Residence	Lot Frontage:	95.7 feet
Proposed Use:	No change; Single Family Residence	Deed Book & Page #:	59527 / 0127

Check all Applicable:

- |   |  |
|---|--|
| <input type="checkbox"/> Historic District                | <input type="checkbox"/> White Pond Advisory Area  |
| <input type="checkbox"/> Wetlands Conservancy District    | <input type="checkbox"/> Wireless Overlay District |
| <input type="checkbox"/> Flood Plain Conservancy District | <input type="checkbox"/> 100' Wetland Buffer Zone  |
| <input type="checkbox"/> Groundwater Conservancy District | <input type="checkbox"/> 200' River's Act Area     |

## 3 Building Inspections Division Review

Total Existing Gross Floor Area:	1324sf	Total Proposed Gross Floor Area:	2368sf
MAX Floor Area Allowed:	4129sf	MAX GFA Allowed by Right:	1986sf

To avoid project delays, this Application and all supporting documentation should be reviewed by a Concord Building Inspector prior to filing with the Town Clerk. It is the Applicant's responsibility to schedule an appointment to meet with a Building Inspector at least two weeks before the application submission deadline. Incomplete applications will not be signed by a Building Inspector.

This completed Application has been reviewed by a Concord Building Inspector.

Signature of Building Inspector: *Ray Matte*

Date: *8/4/2020*

**4 Property Owner/Applicant Information**

The undersigned hereby certifies that he/she has read and examined this application, the Board of Appeals Procedures and Checklist and that the proposed project is accurately represented in this Application and supporting documentation, and hereby requests a hearing before the Board of Appeals with reference to the above application.

**Property Owner(s) Name:** Michael P. Muno

**Address:** 1887 Main Street, Concord, MA 01742

**Phone:** 978.447.0442 **E-Mail:** mpmuno@gmail.com

**Signature:**  **Date:** 08.01.2020

**Property Owner(s) Name:** Thandi P. Muno

**Address:** 1887 Main Street, Concord, MA 01742

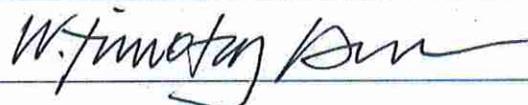
**Phone:** 310.429.4608 **E-Mail:** thandi@gmail.com

**Signature:**  **Date:** 08.01.2020

**Applicant(s) Name:** Studio InSitu Architects, Inc, W. Timothy Hess AIA

**Address:** 63 Main Street, Maynard, MA 01754

**Phone:** 978.461.6114 **E-Mail:** tim@studioinsitu.com

**Signature:**  **Date:** 08.01.2020

**Applicant is:**  Owner  Tenant  ~~Agent/Attorney~~ <sup>Architect</sup>  Purchaser

**Applicant(s) Name:**

**Address:**

**Phone:** **E-Mail:**

**Signature:** **Date:**

**Applicant is:**  Owner  Tenant  Agent/Attorney  Purchaser

Re Muno Residence  
1887 Main Street  
Application for Special Permit

## Project Narrative

The 1-story ranch-style building at 1887 Main Street is a single-family home in the Residence B zone. This is an 1120sf three-bedroom house. The parcel is non-compliant with regard to dimensional regulations for lot area and frontage. The South half of the building contains the bedrooms. The kitchen and a living+dining area occupy the North half. The unfinished and semi-finished basement includes storage space and a childrens' play area. There is no garage. A 204sf sunroom will be demolished as a part of the proposed work.

The project proposes to add a 528sf 2-car garage outbuilding with a 720sf conditioned "studio" above. The upper studio space will be used as a combination home-office, library, art and crafting room. The studio includes one bathroom and two storage rooms.

The proposed building is positioned to shape a small drive court which will accommodate 90-degree turns as cars pull into and back out of the garage. This will allow the owners to be driving forward when entering traffic on Main Street.

The form of the proposed building is sympathetic to the existing house, and will be visible as a subtle and secondary presence in views from Main Street.

All of the subject lot's abutting parcels, and all of those parcels' abutting parcels are located within the Residence B zone. In a review of 16 of those nearest, we observe that 8 others are non-conforming with regard to Lot Area, and 11 have total Living Areas larger than our proposed, including 4 of the other 8 non-conforming lots. Directly across Main Street to the Northwest, all seven of the freestanding condominium homes are larger than our proposed. With the massing added by infill projects in formerly open spaces, and second floor additions re-shaping former ranch-style homes, the character of the neighborhood has evolved significantly in recent years. In this context, we believe our proposal is relatively modest, and entirely fitting.

Thank you for your consideration. We look forward our Public Hearing and the discussion with the Board.