



2012 01585940

Bk: 01406 Pg: 47 Cert#: 249717

Doc: DECIS 03/28/2012 12:37 PM

TOWN OF CONCORD

BOARD OF APPEALS

TOWN HOUSE

Please take notice that in the matter of the APPLICATION OF PAUL MAHONEY ON BEHALF OF 143 SUDBURY ROAD LLC for a Special Permit and Site Plan Approval, under Sections 7.7.2.12, 7.7.3.4, 7.7.3.12, 11.6 and 11.8, for relief from parking requirements and to modify the existing gas station at 143 Sudbury Road, Concord, Massachusetts, the Board of Appeals has this day rendered a decision GRANTING said application, and the record therein has this day been filed with the Town Clerk, Town House, Concord, Massachusetts. Appeals, if any, shall be made pursuant to Section 17 of the Zoning Act, Chapter 40A of the Massachusetts General Laws, and shall be filed within 20 days after the date of this notice.

Julie Vaughan
CLERK, BOARD OF APPEALS

2/22/12
DATE

pk. 411, p. 289
↓
lots B + C3
422, p. 493

249717-1406-47

(SEE last page)
EW

TOWN OF CONCORD

BOARD OF APPEALS

The Application of PAUL MAHONEY ON BEHALF OF 143 SUDBURY ROAD LLC for a Special Permit and Site Plan Approval, under Sections 7.7.2.12, 7.7.3.4, 7.7.3.12, 11.6 and 11.8, for relief from parking requirements and to modify the existing gas station at 143 Sudbury Road, Concord, Massachusetts.

RECORD OF PROCEEDINGS

The Applicant, PAUL MAHONEY ON BEHALF OF 143 SUDBURY ROAD LLC, filed with the Board of Appeals on January 3, 2012 an application.

The Board determined that the following constituted the parties interested in the application and the owners of all property affected thereby, as they appear upon the most recent tax list, viz:

143 Sudbury Road LLC
Henry Francis Smith III
Theresa E Stokes Tr
Period Realty Trust
Philip & Dominika Ruggiero
Philip Ruggiero Tr
VSH Realty Inc
Kathleen M Booth Tr

The Board set the 9th day of February, 2012 at 8:05 P.M. as the time, and the First Floor Meeting Room, 141 Keyes Road, Concord, Massachusetts, as the place of the public hearing upon said application.

The following notice was published in *THE CONCORD JOURNAL* in the issues of January 26, 2012 and February 2, 2012, and a copy of said notice was sent by mail to each of the aforementioned parties in interest and property owners.

BOA/143 SUDBURY RD.
LEGAL NOTICE
Board of Appeals
Public Hearing

A public hearing of the Concord Zoning Board of Appeals will be held on Thursday, February 9, 2012, in the First Floor Meeting Room, 141 Keyes Road, Concord, Massachusetts, at 8:05 P.M. on an application by Paul Mahoney on behalf of 143 Sudbury Road LLC for a Special Permit and Site Plan Approval, under Sections 7.7.2.12, 7.7.3.4, 7.7.3.6, 7.7.3.12, 11.6 and 11.8, for relief from parking requirements and to modify the existing gas station at 143 Sudbury Road.

AD#12675336
Concord Journal 1/26, 2/2/12

The following persons appeared in support of the Application:

James DiGiovanni, Period Realty Trust

The following persons appeared in opposition thereto:

NONE

The Planning Board reported its action of the matter as follows:

See Planner's Report dated January 20, 2012.

See Planning Board Recommendation dated January 27, 2012.

The Board thereupon took the following action:

VOTED: To grant to the Applicant, Paul Mahoney on behalf of 143 Sudbury Road LLC, a Special Permit and Site Plan Approval, under Sections 7.7.2.12, 7.7.3.4, 7.7.3.12, 11.6 and 11.8, for relief from parking requirements and to modify the existing gas station at 143 Sudbury Road, amending and adopting the conditions of the Planning Board Recommendation dated January 27, 2012 and the Fire Department comments received February 1, 2012, and finding that the adverse effects of the proposed use will not outweigh its beneficial impacts to the public interest, the Town and the neighborhood, in view of the characteristics of the site and the proposal in relation to that site, with the following conditions:

- 1) Approval is based on the following plans prepared for a Special Permit and Site Plan Review for Concord Mobil, 143 Sudbury Road:

Stamski & McNary, Inc., 1000 Main Street, Acton, MA 01720:

Sheet 1- Cover Sheet, Existing Conditions, Site Layout Plan: Concord Mobil, 143 Sudbury Road, Concord, MA, Dated January 3, 2012.

Sheet 2- Grading & Utility Plan: Concord Mobil, 143 Sudbury Road, Concord, MA, Dated January 3, 2012.

Sheet 3- Detail Sheet: Concord Mobil, 143 Sudbury Road, Concord, MA, Dated January 3, 2012.

Stormwater Management Report, prepared for Concord Mobil, c/o Charles Audi, 143 Sudbury Road, Concord, MA, Dated January 3, 2012.

Site Plan Updates for Concord Mobil, Dated January 24, 2012.

Mahoney Architects, 70 Seven Star Lane, Concord, MA 01742:

EX-1 Existing Elevations & Floor Plan: Addition & Renovation to Concord Mobil, 143 Sudbury Road, Concord, MA, Dated October 25, 2011.

A1 Proposed Elevations, Floor Plan & Roof Plan: Addition & Renovation to Concord Mobil, 143 Sudbury Road, Concord, MA, Dated October 25, 2011, Bay 2 Revision January 18, 2012, Int. Wall Rev. January 21, 2012.

- 2) **Prior to the issuance of a Certificate of Occupancy**, the cobbles at the back of the sidewalk at the Sudbury Rd. and Thoreau St. intersection shall be removed. The cobbles pose a serious problem for winter maintenance operations, and are not permitted.
- 3) **Prior to the issuance of a Building Permit**, the applicant shall provide a proposed landscaping plan for the corner planting area to CPW-Engineering and the Director of Planning & Land Management for review and acceptance. At a minimum the revised plan shall meet the requirements of the Zoning Bylaw Section 6.2.10 regarding corner clearance. Currently, there is a light pole, wooden post, and bushes which exceed the maximum permitted three foot (3') height. These items obstruct the sight line and contribute to a "No Right on Red" restriction, which slows traffic flow. Ideally, the applicant would reconstruct this entire landscape area to have short, ground covering type vegetation and remove/relocate the sign and light pole away from the corner to the maximum extent practicable.
- 4) **Prior to work commencing in the Town Right-of-Way**, the applicant must file a Right-of-Way (ROW) permit with the CPW-Engineering Division. It is anticipated that the work within the Right-of-Way will be limited to removal of the cobbles.
- 5) **Prior to the issuance of a Building Permit**, the applicant shall submit to the Concord Health Division a Request for Title 5 Building Review (Form S) to determine the amount of the Sewer Improvement Fee. A Sewer Improvement Fee will be assessed for any project where the Health Division determines that there is an increase in the Title 5 flow on the property. The Sewer Improvement Fee must be paid in full prior to the issuance of the building permit.
- 6) **Prior to the issuance of a Building Permit**, the Applicant shall submit cut sheets and specs for all proposed exterior lighting to the Building Inspector for review. All exterior lighting must comply with the dark-sky, full cut-off requirements of the Bylaw.
- 7) **Prior to the issuance of a Building Permit**, the Applicant shall submit cut sheets and specs for all proposed signage to the Building Inspector for review. All signage must comply with the Town of Concord Sign Bylaw.
- 8) **Prior to the issuance of a Certificate of Occupancy**, the Applicant shall erect a sign that designates the eight stacked parking spaces as "Employee Parking Only".
- 9) The Applicant shall be aware that the recommendation by the Planning Board to the Zoning Board of Appeals relative to this application is subject to any and all outstanding comments from the Building Commissioner and the Fire Department.
- 10) The sidewalk around the property on Sudbury Rd. and Thoreau St. shall remain open and unblocked at all times.
- 11) The Applicant shall ensure that all bollards installed for the purpose of protecting the gas tanks are adequate in height and appropriately located so as not to cause a traffic hazard.

- 12) The building design shall ensure that the fuel dispenser operator position can readily view all of the dispensing equipment; 527 CMR requires that the operator have a visual site line and video equipment be used to supplement surveillance.
- 13) **Prior to the issuance of a Certificate of Occupancy**, the Building Inspector or Plumbing Inspector shall confirm that all of the drains inside the garage have been removed.
- 14) **Prior to the issuance of a Building Permit**, the plans shall be revised to show all gutters and downspouts, as well as the exact location of the proposed fence along the southern property line.
- 15) **Prior to the issuance of a Certificate of Occupancy**, the Applicant shall submit a snow storage/removal plan to the Building Commissioner and Fire Department to ensure access of emergency vehicles.
- 16) Should the Applicant submit an application to amend the current flammable liquid storage license for the site, the Applicant shall indicate whether the existing underground storage tanks will be removed, and shall specify the exact location of proposed tank installations. **The Applicant shall be aware that any amendment to the storage license is subject to a public hearing by the Board of Selectmen.**
- 17) **Prior to the issuance of a Certificate of Occupancy**, the Applicant shall install a 4-foot to 6-foot wood fence, with a gate, along the southern property line, exact location of which to be agreed upon by the Applicant and the abutter(s). In addition, the Applicant shall install no less than five shrubs or trees along the fence.

The members of the Board voted thereon as follows:

ROBERTO BRACERAS	GRANTED
STEVEN NG	GRANTED
DAVID FISHER	GRANTED

The Board assigns the following as the reasons for the foregoing finding, ruling and decision:

The Applicant sought a Special Permit and Site Plan Approval, under Sections 7.7.2.12, 7.7.3.4, 7.7.3.12, 11.6 and 11.8, for relief from parking requirements and to modify the existing gas station at 143 Sudbury Road.

The Applicant sought approval for modifications to the interior of the gas station that include additions to the rear and side of the building to accommodate an additional auto repair/service bay, storage space, an office, a waiting area, and the relocation and upgrade of the bathrooms to be handicap accessible. The Applicant also sought approval for site work that includes the relocation of the gas pumps and canopy, drainage improvements, restriping of the parking lot, wall-mounted lighting, additional landscaping along the southeastern property line, and reconstruction of the sidewalk along the building.

The Applicant explained that the proposed gas canopy will be new, but will look almost exactly like the existing canopy. Structural drawings of the canopy will be submitted for the building permit.

John Minty

From: Marcia Rasmussen
Sent: Friday, August 02, 2013 11:18 AM
To: kgottwald@globalcontractingservices.com; Paul Mahoney
Cc: Julie Vaughan; John Minty; Raymond Matte; Laurie Livoli
Subject: FW: 143 Sudbury Road - Mobil Station landscaping

Kevin and Paul,

This email is to let you know that the fence and landscaping plan, dated July 25, 2013 and prepared by Mahoney Architects, showing the proposed fence locations and installation of boxwood hedges on Thoreau Street and at the intersection of Thoreau and Sudbury Road, along with a planting bed for annual flowers on Sudbury Road, is accepted by the Planning Division. I have confirmed, via email message below, that the proposed landscaping is also accepted by the CPW-Engineering Division.

Marcia

Marcia Rasmussen, ASLA
Director of Planning & Land Management
Town of Concord
141 Keyes Road – Concord, MA 01742
phone: (978) 318-3290
fax: (978)318-3291

Please be advised that the Massachusetts Secretary of State considers e-mail to be a public record, and therefore subject to the Massachusetts Public Records Law, MGL c. 66, § 10.

From: Christopher Olbrot
Sent: Friday, August 02, 2013 10:15 AM
To: Marcia Rasmussen; William Renault
Cc: Julie Vaughan
Subject: RE: 143 Sudbury Road - Mobil Station landscaping

Thanks Marcia,

He came in earlier in the week and showed the plan to me. I had him write in the 3' maximum which should be a big improvement for sight line. Thanks.

Chris Olbrot, P.E. | Public Works Engineer
CPW-Engineering Division
133 Keyes Rd
Concord MA 01742
(978) 318-3210
colbrot@concordma.gov

From: Marcia Rasmussen
Sent: Friday, August 02, 2013 10:08 AM
To: William Renault; Christopher Olbrot
Cc: Julie Vaughan
Subject: 143 Sudbury Road - Mobil Station landscaping

Bill and Chris,

Please see the attached condition and plan.

Paul Mahoney is showing 3-foot maximum height for two hedges of boxwood – one along the Thoreau Street sidewalk and the other at the corner – and annual flowers in the area along the Sudbury Road sidewalk.

I am okay with what is proposed as long as you are, or have you already commented?

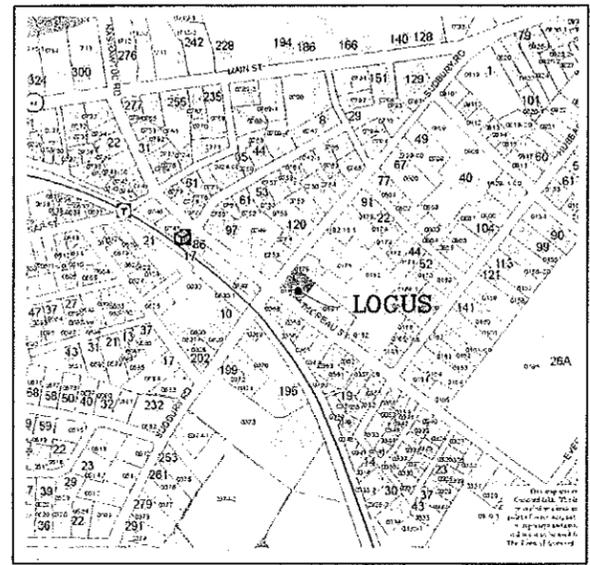
Marcia

Marcia Rasmussen, ASLA
Director of Planning & Land Management
Town of Concord
141 Keyes Road – Concord, MA 01742
phone: (978) 318-3290
fax: (978)318-3291

Please be advised that the Massachusetts Secretary of State considers e-mail to be a public record, and therefore subject to the Massachusetts Public Records Law, MGL c. 66, § 10.

SITE PLAN FOR CONCORD MOBIL

CONCORD, MASSACHUSETTS



LOCUS PLAN
SCALE: 1"=400'



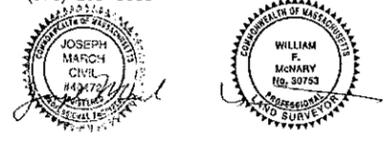
INDEX:
SHEET 1 OF 3 - COVER SHEET, EXISTING CONDITIONS, SITE LAYOUT PLAN
SHEET 2 OF 3 - GRADING AND UTILITY PLAN
SHEET 3 OF 3 - DETAIL SHEET

RECORD OWNER
143 SUDBURY ROAD LLC
143 SUDBURY ROAD
CONCORD, MASSACHUSETTS 01742

APPLICANT:
CONCORD MOBIL
C/O CHARLES AUDI
143 SUDBURY ROAD
CONCORD, MASSACHUSETTS 01742

REFERENCE
MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
LAND REGISTRATION BOOK 1406 PAGE 47
(CERTIFICATE 249717)
LAND COURT PLAN No. 20406A
LAND COURT PLAN No. 20406B
TOWN ATLAS - CONCORD, MASSACHUSETTS
MAP G-9 PARCEL 0180

ENGINEER/SURVEYOR:
STAMSKI AND McNARY, INC.
1000 MAIN STREET
ACTON, MASSACHUSETTS 01720
(978) 263-8585

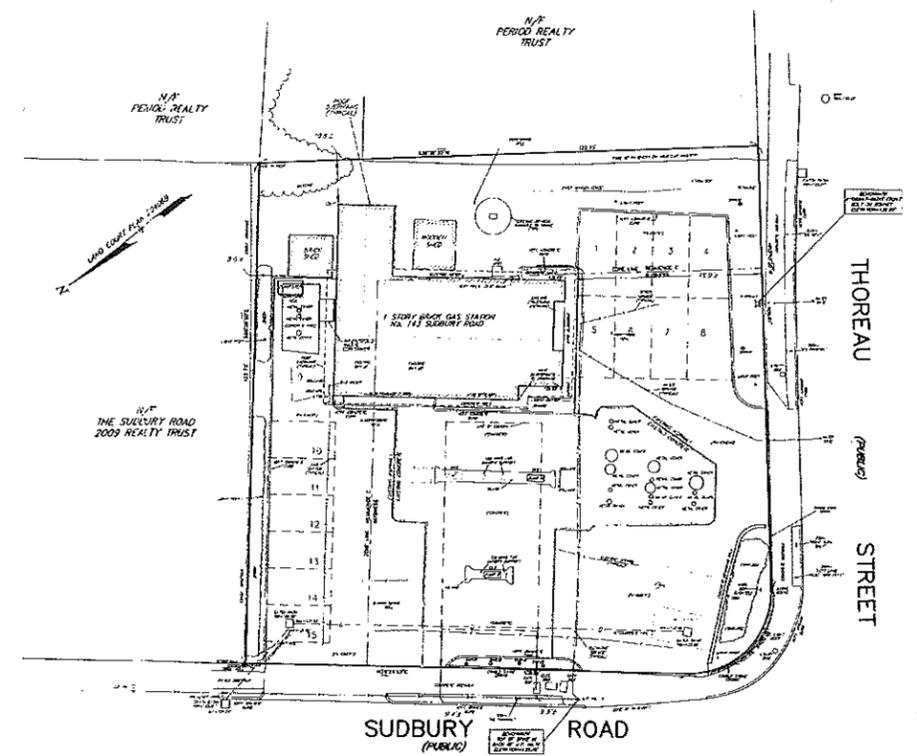


ZONING DISTRICT
BUSINESS
RESIDENCE C

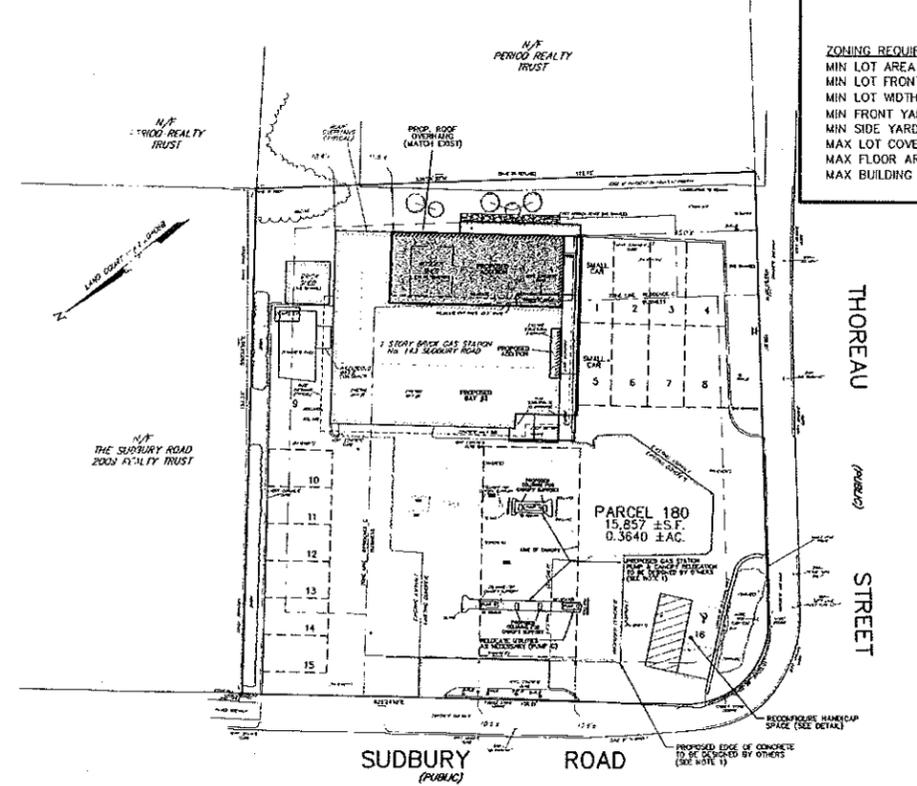
DATUM
ALL ELEVATIONS REFER FIRM RM 26 NE CORNER OF
SE ABUTMENT ELM STREET BRIDGE OVER SUDBURY
RIVER. ELEVATION = 126.99'. (NGVD OF 1929).

DATE: JANUARY 3, 2012

- LEGEND:**
- BOLLARD
 - ⊕ CATCH BASIN
 - FENCE
 - ⊕ DRAIN MANHOLE
 - ⊕ ELECTRIC HANDHOLE
 - ⊕ ELECTRIC MANHOLE
 - ⊕ ELECTRIC METER
 - ⊕ ELECTRIC TRANSFORMER
 - ⊕ GAS GATE
 - ⊕ GAS METER
 - ⊕ HYDRANT
 - ⊕ METAL LIGHT POLE
 - OVERHEAD WRES
 - ⊕ DOWN SPOUT
 - ⊕ SEWER MANHOLE
 - SIGNS
 - ⊕ TELEPHONE MANHOLE
- UNDERGROUND UTILITIES**
- D DRAIN
 - E ELECTRIC
 - G GAS
 - S SEWER
 - T TELEPHONE
 - W WATER
 - TV TELEVISION
 - C COMMUNICATION
- ⊕ WATER CONTROL VALVE
 - ⊕ WATER GATE
 - ⊕ UTILITY POLE
 - ⊕ TO BE REMOVED



EXISTING CONDITIONS PLAN
SCALE: 1"=20'



SITE LAYOUT PLAN
SCALE: 1"=20'

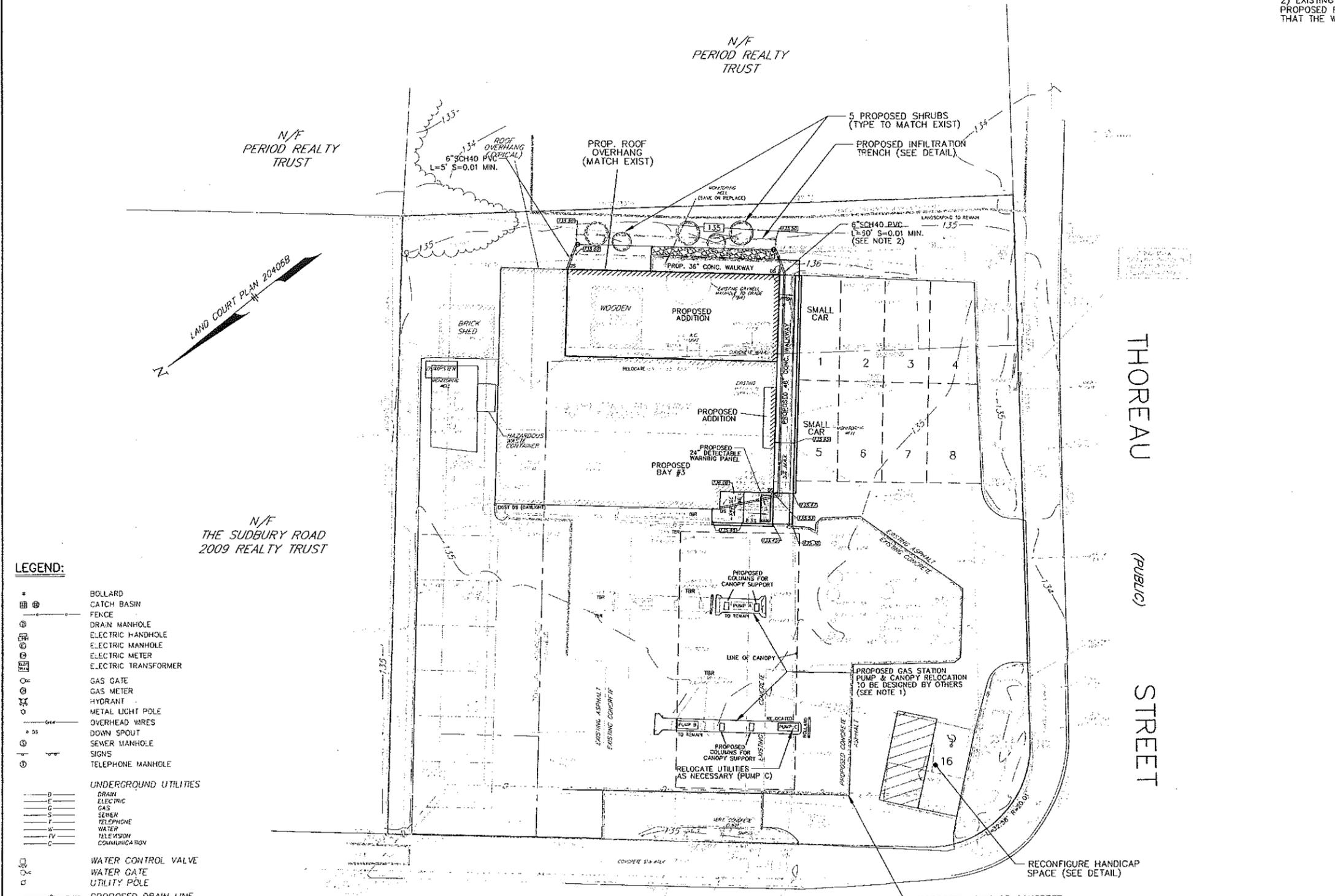
NOTE
1) GAS STATION PUMPS, CANOPY, AND CONCRETE APRON TO BE DESIGNED BY OTHERS AND IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

ZONING COMPLIANCE TABLE				
ZONING REQUIREMENTS	BUSINESS	RESIDENCE C	EXISTING	PROPOSED
MIN LOT AREA	NR	10,000 SF	15,857 SF	15,857 SF
MIN LOT FRONTAGE	NR	80 FT	>80 FT	>80 FT
MIN LOT WIDTH	NR	64	126± FT	126± FT
MIN FRONT YARD	10 FT	20 FT	46± FT	45± FT
MIN SIDE YARD	10 FT	15 FT	11± FT	11± FT
MAX LOT COVERAGE %	NR	NR	2,083 SF	2,695 SF
MAX FLOOR AREA RATIO	NR	NR	0.13% ±	0.17% ±
MAX BUILDING HEIGHT	35 FT	35 FT	< 35 FT	< 35 FT

OFF-STREET PARKING REQUIREMENT	
EXISTING	PROPOSED
16	9
	5 EMPLOYEES
	1 COMPANY VEHICLE (TOW TRUCK)
TOTAL REQUIRED	15
TOTAL PROVIDED	16
SMALL CAR 20% MAX. (3)=	2
ACCESSIBLE SPACES (1 MIN.)	1

NOTES

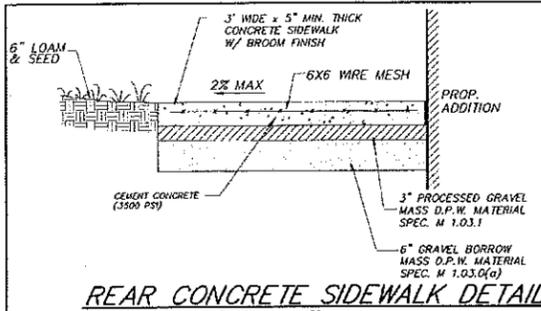
- 1) GAS STATION PUMPS, CANOPY, AND CONCRETE APRON TO BE DESIGNED BY OTHERS AND IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- 2) EXISTING WATER AND SEWER SERVICE SHALL BE EXPOSED PRIOR TO FINALIZING PROPOSED ROOF LEADER PITCH TO ENSURE THERE IS NO CONFLICT. IT IS PREFERABLE THAT THE WATER AND SEWER SERVICE BE BELOW THE PROPOSED ROOF LEADER.



LEGEND:

•	BOLLARD
⊕	CATCH BASIN
—	FENCE
⊙	DRAIN MANHOLE
⊙	ELECTRIC HANDHOLE
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC METER
⊙	ELECTRIC TRANSFORMER
⊙	GAS GATE
⊙	GAS METER
⊙	HYDRANT
⊙	METAL LIGHT POLE
—	OVERHEAD WIRES
⊙	DOWN SPOUT
⊙	SEWER MANHOLE
⊙	SIGNS
⊙	TELEPHONE MANHOLE
UNDERGROUND UTILITIES	
—	DRAIN
—	ELECTRIC
—	GAS
—	SEWER
—	TELEPHONE
—	WATER
—	TELEVISION
—	COMMUNICATION
⊙	WATER CONTROL VALVE
⊙	WATER GATE
⊙	UTILITY POLE
—	PROPOSED DRAIN LINE
—	PROPOSED ROOF LEADER TO BE REMOVED
---	TO BE REMOVED

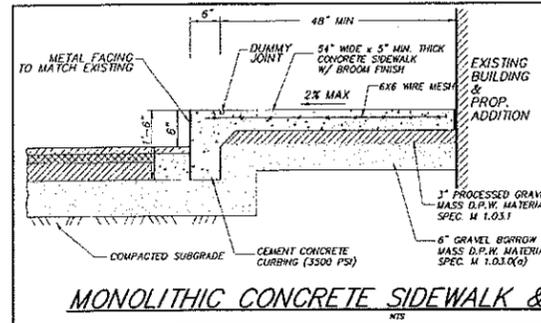
<p>CONCORD MOBIL 143 SUDBURY ROAD IN CONCORD, MASSACHUSETTS (MIDDLESEX COUNTY)</p>		
<p>GRADING & UTILITY PLAN</p> <p>FOR: CONCORD MOBIL SCALE: 1"=10' JANUARY 3, 2012</p>		
<p>STAMSKI AND McNARY, INC. 1000 MAIN STREET ACTON, MASSACHUSETTS ENGINEERING - PLANNING - SURVEYING</p>		
<p>0 5 10 20 30 40 FT</p> <p>(4872 Site.DWG) Sheet 2 of 3 SM-4872</p>		



- NOTES:**
1. ALL SIDEWALKS SHALL BE 5" THICK.
 2. CONSTRUCTION JOINTS SHALL BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH FOR SIDEWALKS LESS THAN 10'-0" WIDE UNLESS OTHERWISE NOTED.
 3. FOR 10' OR WIDER SIDEWALKS SPACE CONSTRUCTION JOINTS AT 5'-0" INTERVALS AND A LONGITUDINAL CONTRACTION JOINT IN THE CENTER OF THE SIDEWALK.
 4. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH A 1/8" RADIUS.
 5. USE 1/2" EXPANSION MATERIAL WHERE CONCRETE SIDEWALK ABUTS CONCRETE STRUCTURE AND NOT MORE THAN 20 FEET LONGITUDINALLY ACROSS THE WALK.
 6. ALL GRAVEL IS TO BE COMPACTED TO 95% MAX. DRY DENSITY.

REAR CONCRETE SIDEWALK DETAIL
NTS

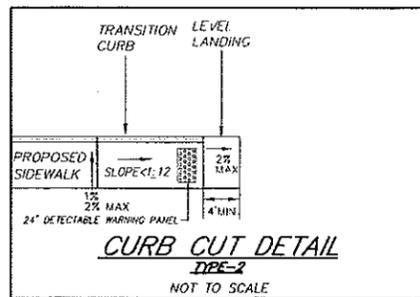
FILE: CDHC SW 40 CURB.DWG



- NOTES:**
1. ALL SIDEWALKS SHALL BE 5" THICK.
 2. CONSTRUCTION JOINTS SHALL BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH FOR SIDEWALKS LESS THAN 10'-0" WIDE UNLESS OTHERWISE NOTED.
 3. FOR 10' OR WIDER SIDEWALKS SPACE CONSTRUCTION JOINTS AT 5'-0" INTERVALS AND A LONGITUDINAL CONTRACTION JOINT IN THE CENTER OF THE SIDEWALK.
 4. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH A 1/8" RADIUS.
 5. USE 1/2" EXPANSION MATERIAL WHERE CONCRETE SIDEWALK ABUTS CONCRETE STRUCTURE AND NOT MORE THAN 20 FEET LONGITUDINALLY ACROSS THE WALK.
 6. ALL GRAVEL IS TO BE COMPACTED TO 95% MAX. DRY DENSITY.

MONOLITHIC CONCRETE SIDEWALK & CURB DETAIL
NTS

FILE: MONOLITHIC CDHC SW & CURB.DWG

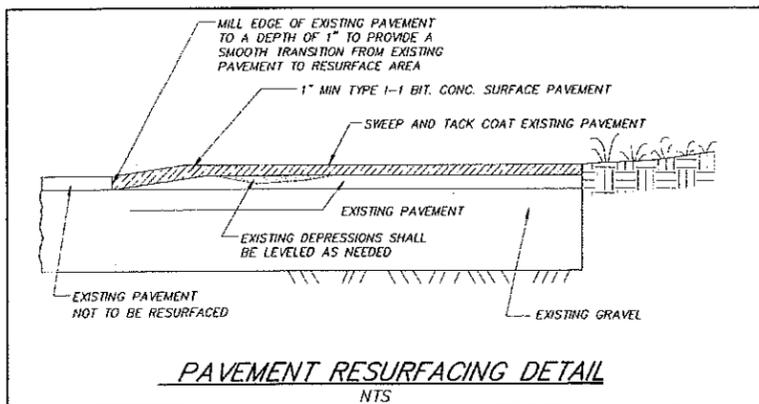


CURB CUT DETAIL
TYPE-2

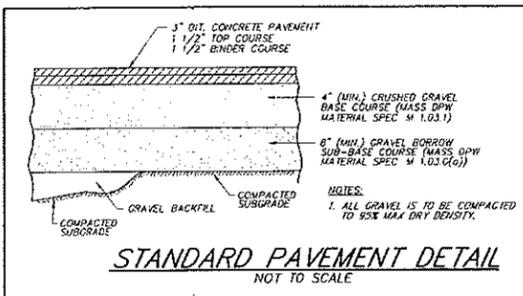
NOT TO SCALE

EROSION AND SEDIMENTATION CONTROL NOTES:

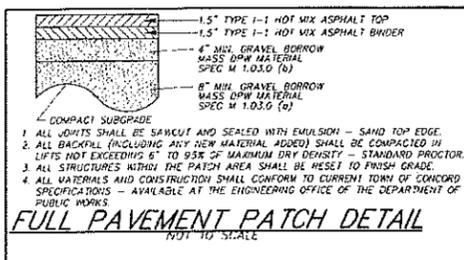
1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION OCCURRING ON SITE.
 2. SILTATION FENCE IS RECOMMENDED TO BE PLACED IN ALL AREAS AS SHOWN ON THE GRADING AND UTILITY PLAN AND IN ANY OTHER AREAS AS DETERMINED NECESSARY DURING CONSTRUCTION.
 3. TOPSOIL SHALL BE STRIPPED FROM DISTURBED AREAS AND STOCKPILED IN THE AREAS NOT TO DISTURB VEHICLE TRAFFIC. ALL SOIL STOCK PILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCK PILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR FASTENED TARPULIN SHEETS.
 4. TEMPORARY SEDIMENTATION BASINS SHALL BE ROUGHLY CONSTRUCTED DURING THE EARLIEST STAGES OF THE PROJECT AS NEEDED TO PREVENT AND CONTROL EROSION.
 5. ANY CATCH BASIN GRATES ON SITE SHALL BE COVERED WITH SILTATION FABRIC DURING CONSTRUCTION.
 6. ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 4" OF LOAM AND SEEDED DURING THE GROWING SEASON (APRIL 1 TO SEPTEMBER 30) OR COVERED WITH HAY MULCH DURING THE NON-GROWING SEASON (OCTOBER 1 TO MARCH 31).
 7. UNLESS OTHERWISE INDICATED ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF LOAM AND BE SEEDED TO PREVENT EROSION.
 8. DISTURBED AREAS WHERE CONSTRUCTION HAS PERMANENTLY OR TEMPORARILY CEASED MUST BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE. AREAS WHICH WILL BE REDISTURBED WITHIN 21 DAYS DO NOT HAVE TO BE STABILIZED.
 9. ALL CATCH BASIN SUMPS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CLEAN UP OF ANY SAND, DIRT OR DEBRIS WHICH ERODES FROM THE SITE ONTO SUDBURY ROAD AND THOREAU STREET AND TO REMOVE SILT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING, BUT NOT LIMITED TO, CATCH BASIN SUMPS, PIPE LINES, MANHOLES, AND DITCHES.
- INSPECTION/MAINTENANCE:**
11. IF DRAINAGE OR RUN-OFF PROBLEMS OCCUR DURING CONSTRUCTION THE APPLICANT SHALL TAKE IMMEDIATE CORRECTIVE MEASURES.
 12. ANY SILT, CONSTRUCTION DEBRIS, ETC. SHALL BE REMOVED FROM SUDBURY ROAD AND THOREAU STREET IMMEDIATELY UPON DISCOVERY.
 13. THE CONTRACTOR SHALL FOLLOW STANDARD PRACTICE AND LOAM AND SEED ALL DISTURBED AREAS FOLLOWING CONSTRUCTION. A MAINTENANCE CHECK PLAN SHALL BE IN PLACE AT ALL TIMES ON THE SITE.
 14. OPERATOR PERSONNEL MUST INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. AREAS WITH SITES THAT HAVE BEEN FINALLY STABILIZED MUST BE INSPECTED AT LEAST ONCE A MONTH. THE CONTRACTOR MUST PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS.
 15. ALL CATCH BASINS ON-SITE SHALL BE CLEANED AFTER CONSTRUCTION AND ANNUALLY THEREAFTER.
 16. TREE STUMPS SHALL BE DISPOSED OF OFFSITE. BOULDERS MAY ONLY BE USED IN GENERAL FILL & LANDSCAPE AREAS.
 17. EXISTING ON-SITE DRAINAGE SYSTEM SHALL BE INSPECTED AND CLEANED ANNUALLY. ANY DEBRIS SHOULD BE REMOVED UPON DISCOVERY.



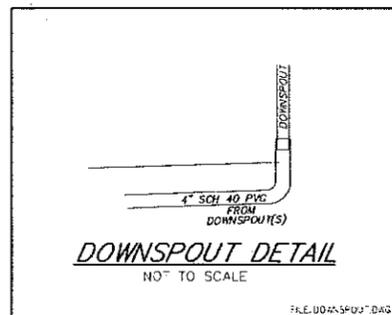
PAVEMENT RESURFACING DETAIL
NTS



STANDARD PAVEMENT DETAIL
NOT TO SCALE

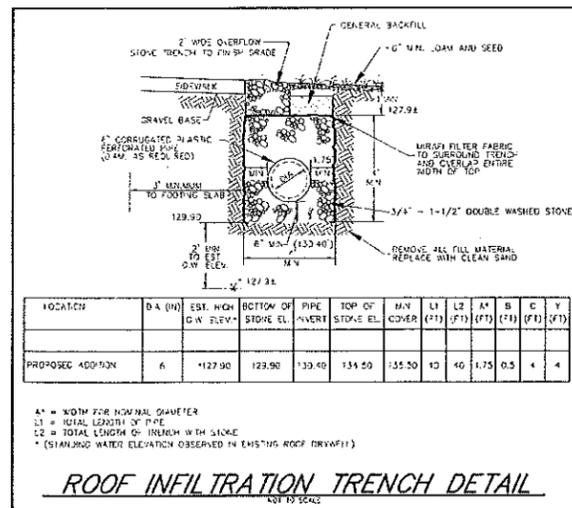


FULL PAVEMENT PATCH DETAIL
NOT TO SCALE



DOWNSPOUT DETAIL
NOT TO SCALE

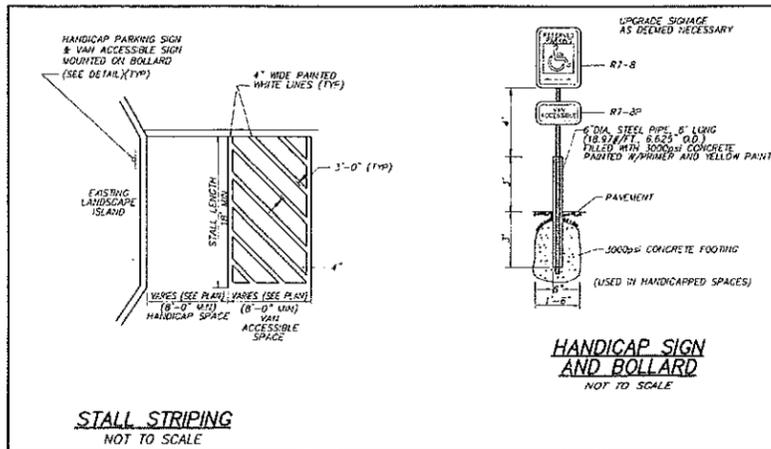
FILE: D04A5F03.DWG



ROOF INFILTRATION TRENCH DETAIL
NOT TO SCALE

LOCATION	ØA (IN)	EST. WCH D.W. ELEV.	BOTTOM OF PIPE INVERT	TOP OF PIPE COVER	MAN COVER (FT)	L1 (FT)	L2 (FT)	A* (FT)	B (FT)	C (FT)	D (FT)	E (FT)
PROPOSED ADDITION	6	+127.90	123.90	133.40	134.50	10	40	1.75	0.5	4	4	4

A* = WIDTH FOR NORMAL DIAMETER
L1 = TOTAL LENGTH OF PIPE
L2 = TOTAL LENGTH OF INLET WITH SLOPE
* (STANDING WATER ELEVATION OBSERVED IN EXISTING ROOF DRAIN#1)



HANDICAP SIGN AND BOLLARD
NOT TO SCALE

STALL STRIPING
NOT TO SCALE

CONCORD MOBIL
143 SUDBURY ROAD
IN
CONCORD, MASSACHUSETTS
(MIDDLESEX COUNTY)

DETAIL SHEET
FOR: CONCORD MOBIL
SCALE: 1"=20' JANUARY 3, 2012

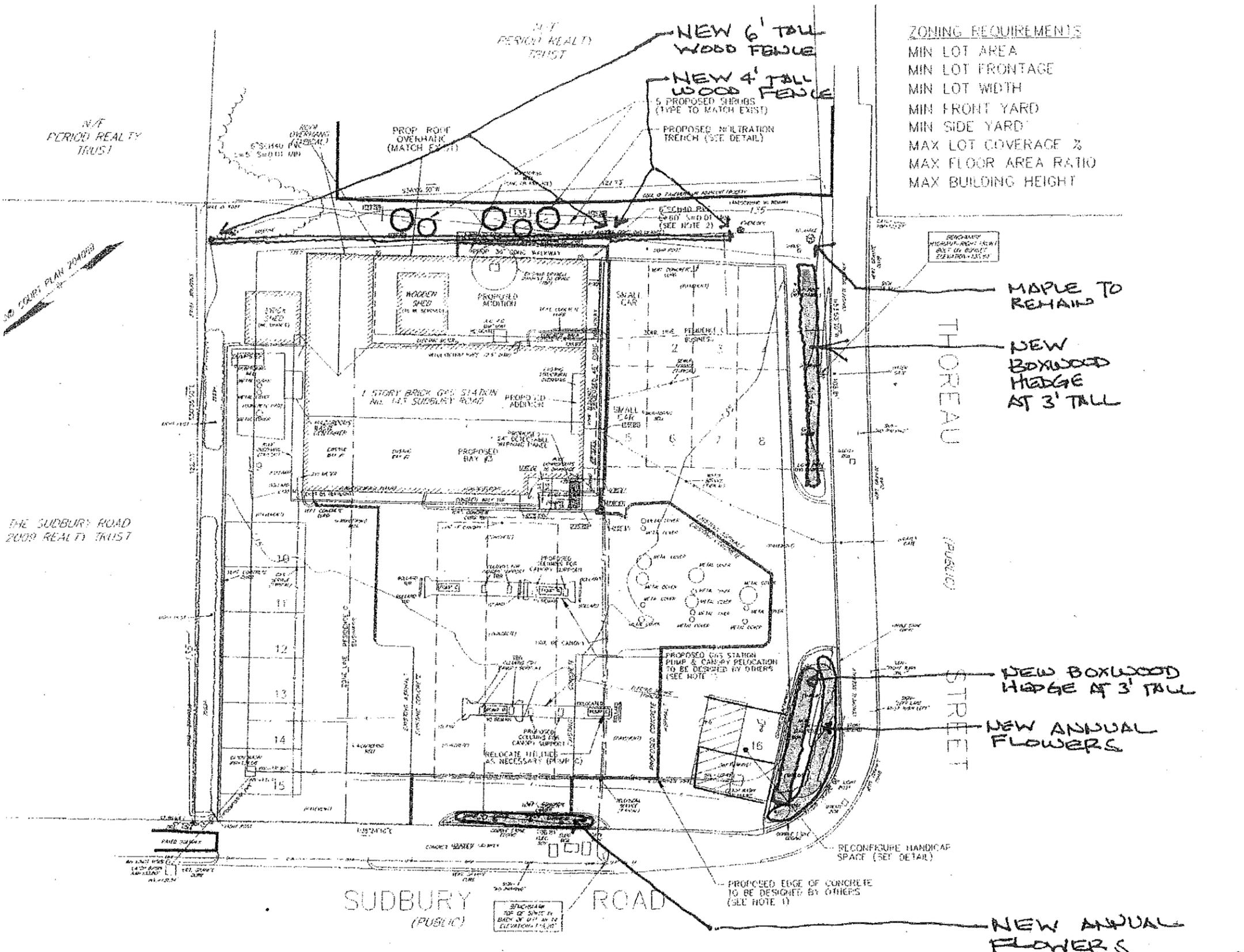
STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(4872 Site.DWG) Sheet 3 of 3 SM-4872

PROFESSIONAL ENGINEER
JOSEPH MARCH
CIVIL
#40472
REG. STATE OF MASSACHUSETTS

PROFESSIONAL CIVIL ENGINEER
WILLIAM F. MCNARY
No. 30753
REG. STATE OF MASSACHUSETTS



- ZONING REQUIREMENTS**
- MIN LOT AREA
 - MIN LOT FRONTAGE
 - MIN LOT WIDTH
 - MIN FRONT YARD
 - MIN SIDE YARD
 - MAX LOT COVERAGE %
 - MAX FLOOR AREA RATIO
 - MAX BUILDING HEIGHT

SITE LAYOUT PLAN

SCALE: 1" = 20'

TO BE
 TABLE REGULATIONS

N/F
 PERIOD REALTY TRUST

N/T
 PERIOD REALTY TRUST

THE SUDBURY ROAD
 2009 REALTY TRUST

THOREAU STREET (PUBLIC)

STREET

SUDBURY ROAD (PUBLIC)

CONCORD MOBIL
FENCE & LANDSCAPE PLAN
MAHONEY ARCHITECTS
7.25.13