

Town of Concord  
Zoning Board of Appeals  
141 Keyes Road  
Concord, MA 01742  
Tel: (978) 318-3295  
www.concordma.gov

# Zoning Board of Appeals Application

## General Application

Town Use Only

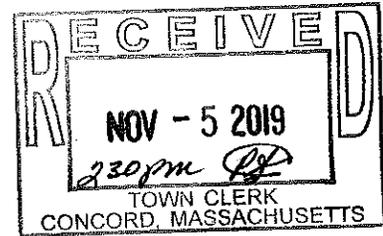
Received by Clerk of the Board:

Town Clerk Stamped Received

RECEIVED

NOV 15 2019

Town of Concord  
Board of Appeals



Application Fee: \_\_\_\_\_

Hearing Date: \_\_\_\_\_



### 1 Application Information

This Application is for:  Special Permit  Special Permit Renewal  Variance  
 Sign Variance  Appeal from a decision of the Building Inspector/Zoning Enforcement Officer

Sections of the Zoning Bylaw Applicable to Application & Brief Project Description:

SEE ATTACHED BRIEF PROJECT DESCRIPTION  
7.7.3.13, 7.7.3.4, 11-6 + 11-8

### 2 Property Information

Address: 143 SUDBURY RD.

Parcel ID #: 0180 MAP 6.9

Zoning District: BUSINESS/RESIDENCE C

Total Land Area:

Present Use: GAS STATION

Lot Frontage:

Proposed Use: GAS STATION

Deed Book & Page #:

Check all Applicable:

- Historic District
- Wetlands Conservancy District
- Flood Plain Conservancy District
- Groundwater Conservancy District
- White Pond Advisory Area
- Wireless Overlay District
- 100' Wetland Buffer Zone
- 200' River's Act Area

### 3 Building Inspections Division Review

To avoid project delays, this Application and all supporting documentation should be reviewed by a Concord Building Inspector prior to filing with the Town Clerk. It is the Applicant's responsibility to schedule an appointment to meet with a Building Inspector at least two weeks before the application submission deadline. Incomplete applications will not be signed by a Building Inspector.

This completed Application has been reviewed by a Concord Building Inspector.

Signature of Building Inspector: *Ray Matte*

Date: 11/5/19

**4 Property Owner/Applicant Information**

The undersigned hereby certifies that he/she has read and examined this application, the Board of Appeals Procedures and Checklist and that the proposed project is accurately represented in this Application and supporting documentation, and hereby requests a hearing before the Board of Appeals with reference to the above application.

Property Owner(s) Name: 143 Sudbury Rd LLC  
Address: 143 Sudbury Rd Concord, MA 01742  
Phone: 617-365-4184 E-Mail: SALWA CHARLIE 789@AOL.  
Signature: *Charlie Audi* Date: 10-9-19

Property Owner(s) Name:  
Address:  
Phone: E-Mail:  
Signature: Date:

Applicant(s) Name: CHARLIE Audi  
Address: 143 Sudbury Rd Concord, MA 01742  
Phone: 617-365-4184 E-Mail: SALWA CHARLIE 789@AOL  
Signature: *Charlie Audi* Date: 10-9-19

Applicant is:  Owner  Tenant  Agent/Attorney  Purchaser

Applicant(s) Name:  
Address:  
Phone: E-Mail:  
Signature: Date:

Applicant is:  Owner  Tenant  Agent/Attorney  Purchaser



# MAHONEY ARCHITECTS

A part of The Mahoney Companies, Inc  
PO Box 446, Concord, MA 01742  
phone 978-257-0807

October 9, 2019

Zoning Board of Appeals Application  
143 Sudbury Road, Concord, MA

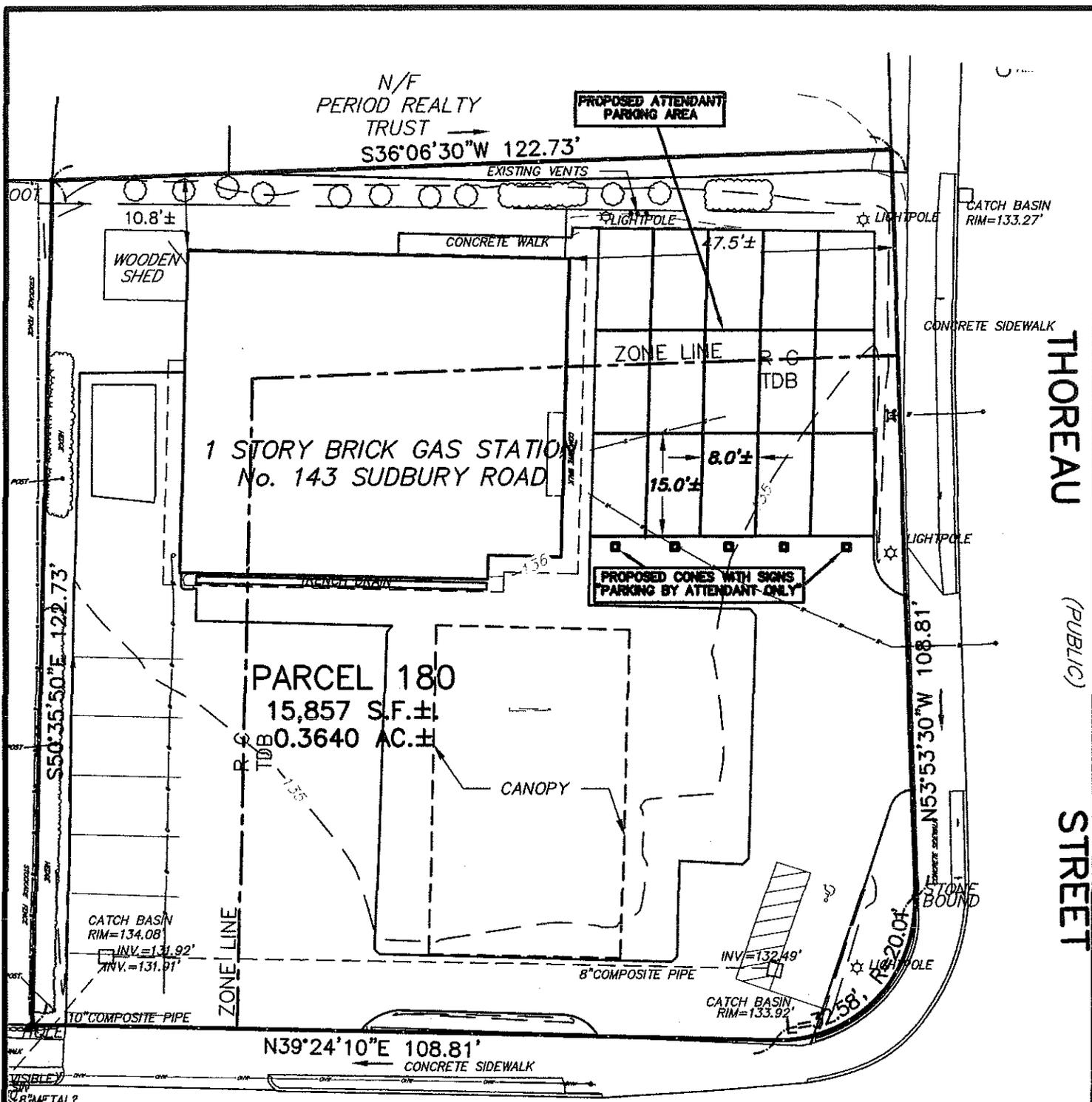
## **Nature and Justification of Request:**

This application is a request to amend a special permit for relief from parking requirements to allow 15 stacked parking spaces as shown on the attached site plan by Stamski and McNary.

The owner of the business, Mr. Charles Audi, would like reconfigure the area currently used for 8 cars and so that it may be used for 15 cars. The current layout is 4 cars wide by 2 cars deep. However, through attendant parking, it is possible to fit 15 cars in the area (5 cars wide by 3 cars deep, using 8x12 sized parking spaces).

The need for the additional parking is due to the nature of Mr. Audi's customer's schedules who often drop a vehicle off for service on their way to work in the morning and then pick it up at the end of the day on their return from work. This convenience to the customer results in some vehicles remaining during the day longer than is need for the repair and therefor creating a need for the attendant parking area.

As the area will be under full-time attendant supervision (as required in section 7.7.3.4 of the Concord Zoning Bylaws in relation to layout), the applicant asks that the ZBA find that the request for relief from the parking requirements is reasonable and that such relief is not substantially detrimental to the neighborhood or the intent and purpose of the bylaw.



SUDBURY (PUBLIC) ROAD

**PARKING DIAGRAM**  
IN  
**CONCORD, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

FOR: **CONCORD MOBILE**  
SCALE: 1"=10' OCTOBER 30, 2019

**STAMSKI AND MCNARY, INC.**  
1000 MAIN STREET ACTON, MASSACHUSETTS  
ENGINEERING - PLANNING - SURVEYING

