

Present: John Flaherty, Deputy Superintendent of Finance and Operations; Matthew Root, Community Volunteer; Brian Schlegel, Facilities Manager; Eve Isenberg, Community Volunteer; Tom Dalicandro, CMS Teacher; Karin Baker, CMS Teacher; Maria McDermott, CMS Teacher; Diana Rigby, Superintendent, Christopher Popov, Volunteer; Lauryn Gorli, Volunteer; Heather Bout, School Committee; Matthew Wells, Sr. Business Analyst; Matt Andersen-Miller, Volunteer; Drew Rosenshine, Interim Middle School Principal; Wally Johnston, School Committee;

Presenters Regan Shields and Pat Morss from Finegold Alexander Architects

I. Introductions

Heather Bout called the meeting to order at 6:00 p.m. and noted that the meeting is being recorded. She welcomed everyone, introduced Regan Shields and Pat Morss from Finegold Alexander Architects (FAA), and had brief introductions.

II. Public Comments: None

III. Motion to approve previous meeting minutes (regular session):

Motion to approve by Chris Popov, seconded by Eve Isenberg, approved unanimously.

IV. FAA Presentation

From FAA Minutes (minutes attached, presentation attached):

1. The agenda was for Finegold Alexander Architects (FAA) to present the study team's Existing Conditions Report and a draft prioritization of recommended actions with budget costs for a 10-year Maintenance Plan. FAA distributed hard copies of the PowerPoint presentation, and a link was circulated in advance of the meeting for downloading the entire report.
2. The presentation included:
 - Summary of existing conditions at the Sanborn and Peabody Buildings.
 - Updated site and floor plans.
 - Itemizing of consultant team observations warranting attention during a 10-year maintenance period.
 - Spreadsheet for each building prioritizing action items as "Required," "Recommended," "Optional," or "Other" (not budgeted) for the 10-year plan. Budget estimates included.
 - Considerations including inefficiencies of operating two CMS facilities, and additional code compliance requirements that would be triggered by large projects.
 - Schedule of next steps for completion of the CMS Facility Study, town meetings and approvals, and interaction with the MSBA.
3. Discussion items regarding the presentation (10-year Maintenance Plan) included:
 - Dealing with hazardous materials during the Concord-Carlisle High School project was more costly than anticipated.
 - Concerns for snow load on roofs and probable maintenance costs over next 10 years.
 - Obtain estimates for roof replacements and move from "Other" to "Recommended" priority.
 - Operating two CMS buildings requires 5 additional teachers, and additional support and maintenance staff.

- Committee members asked to give feedback on the presentation findings, with particular attention to items that should be “Recommended” as opposed to “Optional.”
 - Peabody classrooms are unacceptable with lightweight partitions and insufficient soundproofing (difficult for hearing-challenged students).
 - It would be helpful to understand what code compliance triggers would come into play during the 10-year maintenance plan. There are numerous scenarios, and this will be studied after further refinement of priority projects.
 - There is poor ventilation in the Sanborn auditorium, and temperature control (with essentially no air conditioning) is varied throughout the building.
 - The Sanborn gymnasium floor is at the basement level without daylight, and ventilation is poor.
 - The three modular classroom sets are lost investment in terms of sale or relocation.
4. Considerations for Study completion (50-year Long Term Plan):
- For long term plan, need to identify difference in probable cost for maintaining, operating, expanding, and incorporating educational advances into two buildings, as opposed to constructing a new CMS.
 - The 50-year plan must include needs and advances to transform the teaching environment, not just the physical plant concerns of the 10-year plan.
 - How quickly might funding be available from the State as we compare short and long term plans?
 - Reference the 2005 early High School study which indicated that retaining the existing building would be more expensive than a new building over a 50-year period.
 - Costs for recent new middle school buildings have been in the \$75-\$80M range for student populations similar to CMS.
 - Operating costs for new buildings are considerably reduced when existing buildings are replaced.
 - The MSBA building size standard for CMS’s 700 students is 115,000 SF. Sanborn and Peabody represent nearly 150,000 SF to maintain.
 - Why continue to invest in Peabody, which was not designed as a middle school? There are opportunities for reuse. The MSBA probably would not invest in two buildings.
5. Next Steps and Schedule:
- FAA should meet independently with teachers, support staff, and a parents group for input on educational and operational deficiencies, as well as long term goals. Drew Rosenshine will set up teacher and support staff meetings for the afternoon of 2/15/17.
 - Diana Rigby will tour the cutting-edge Willard Elementary School with FAA the same day.
 - The parents meeting will tentatively take place the week of February 27th following vacation.
 - The next Study Committee meeting is Tuesday 3/21/17, and the following meeting tentatively Wednesday 4/12/17.
 - This year a Statement of Interest (SOI) will be due to the MSBA shortly after the April Town Meeting which is Monday 4/24/17.

End of Presentation

V. Discussion

Roofs were not covered in the handouts or presentation. The district has concern of the useful life. The 0-10 year study presented was really about assessing if a large investment is made in the two facilities that it will pay off or possibly accelerate major renovation or replacement. It is noted that similar to what was seen in the high school project, the expense grows quickly (to \$30 million plus) prior to any addressing of programmatic or curriculum challenges. This current

process is about keeping the building running for a possible 10 years. The MSBA process does not guarantee entry the first time submitted.

“Required Action” section was more code based in items identified, focusing on health and safety. A question was asked as to if we are missing any educational mandates, or if we have inclusion issues. There is no accrediting body for the middle school. Timeline until MSBA funding will change some of our required work items. We should now be focusing on renovation/replacement of Sanborn and not focus energy on Peabody (beyond the 10 year improvements).

The 10 year improvement needs to also consider programmatic issues. Modular buildings are not a great option, and they have little resale value.

VI. Meetings

Future meetings will be in the Sanborn library. Next meeting scheduled for 3/21/2017.

VII. Vote Vice Chairperson

Matt Anderson Miller volunteered to be vice chair. Vote to approve vice chair moved by Eve Isenberg, second by Diana Rigby, approved unanimously.

VIII. Adjourn

A motion was made to adjourn the CMS Facilities Subcommittee meeting at 7:40 p.m. by Diana Rigby, second by Lauryn Gorli, the motions were unanimously approved.

Respectfully submitted,
Matthew Wells

Approved: 3/23/2017

Memo

Date: February 9, 2017

To: John Flaherty

From: Pat Morss

Copies: Diana Rigby, Heather Bout, Drew Rosenshine, Brian Schlegel, Regan Shields Ives, Ozge Diler-Himes

Project Name: Concord Middle School (CMS) Facility Study

Project No.: 44317.00

Subject: Study Committee meeting at Sanborn Building, 2/7/2017

Present: See sign-in sheet

Items:

1. The agenda was for Finegold Alexander Architects (FAA) to present the study team's Existing Conditions Report and a draft prioritization of recommended actions with budget costs for a 10-year Maintenance Plan. FAA distributed hard copies of the PowerPoint presentation, and a link was circulated in advance of the meeting for downloading the entire report.
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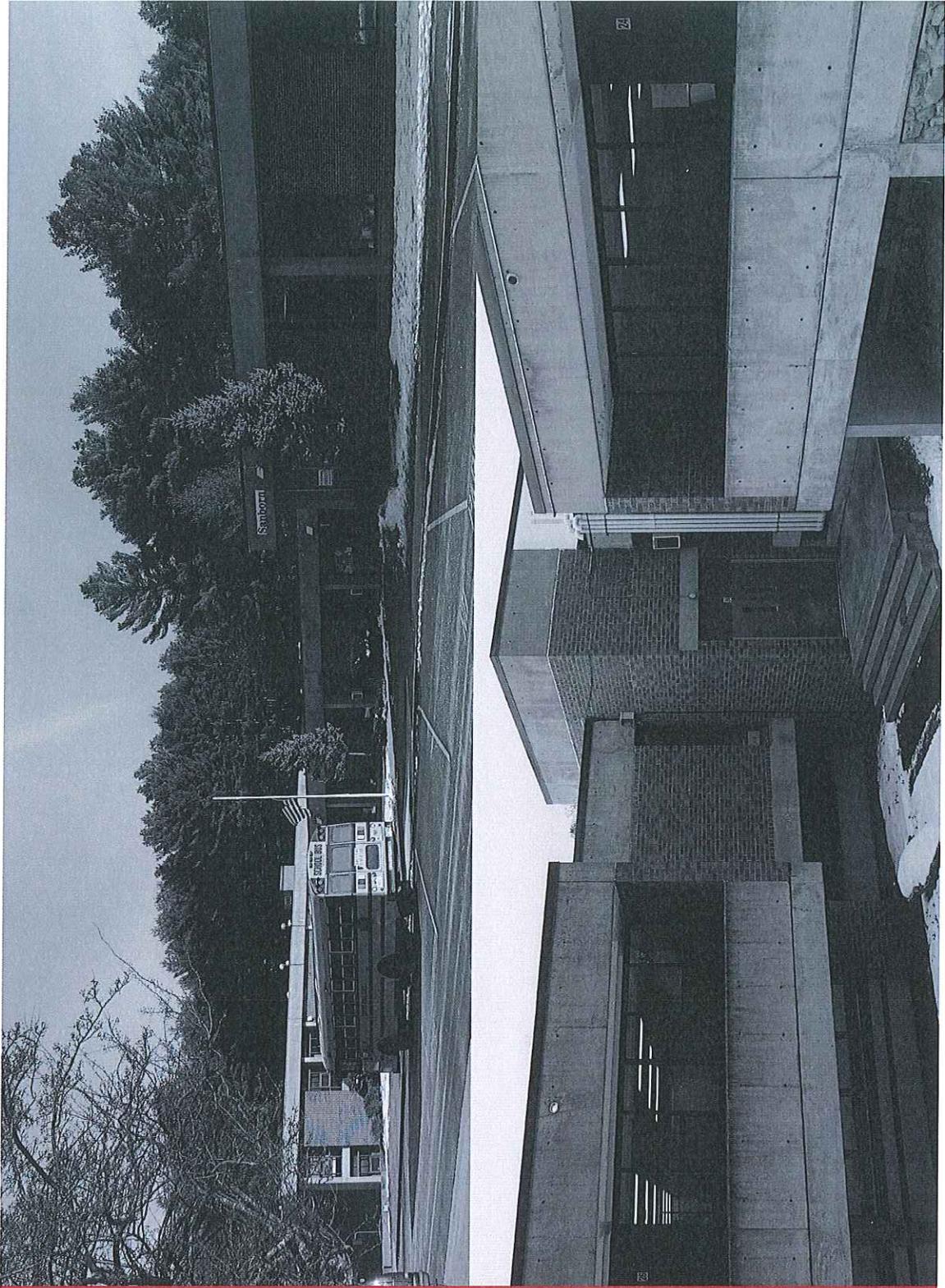
- It would be helpful to understand what code compliance triggers would come into play during the 10-year maintenance plan. There are numerous scenarios, and this will be studied after further refinement of priority projects.
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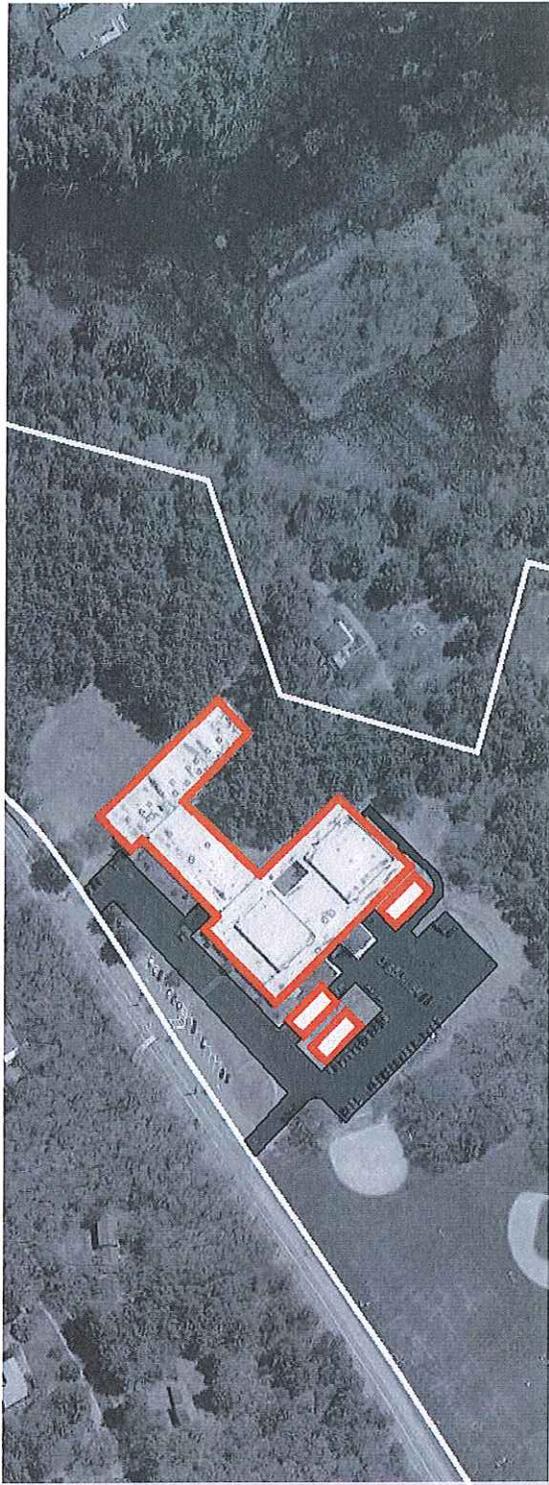
If there are errors, discrepancies and/or omissions, please notify Finegold Alexander Architects within 24 hours of receipt of this report. After 24 hours, this report will be deemed correct in every aspect and accepted by all concerned.

CONCORD
MIDDLE SCHOOL
FACILITY STUDY

February 7, 2017

Finegold Alexander Architects





- 1. Existing Conditions
- 2. 10-Year Maintenance Plan
- 3. Considerations
- 4. Next Steps



CONCORD MIDDLE SCHOOL
Study Committee Meeting
February 7, 2017
Finegold Alexander Architects

Existing Conditions



Existing Conditions

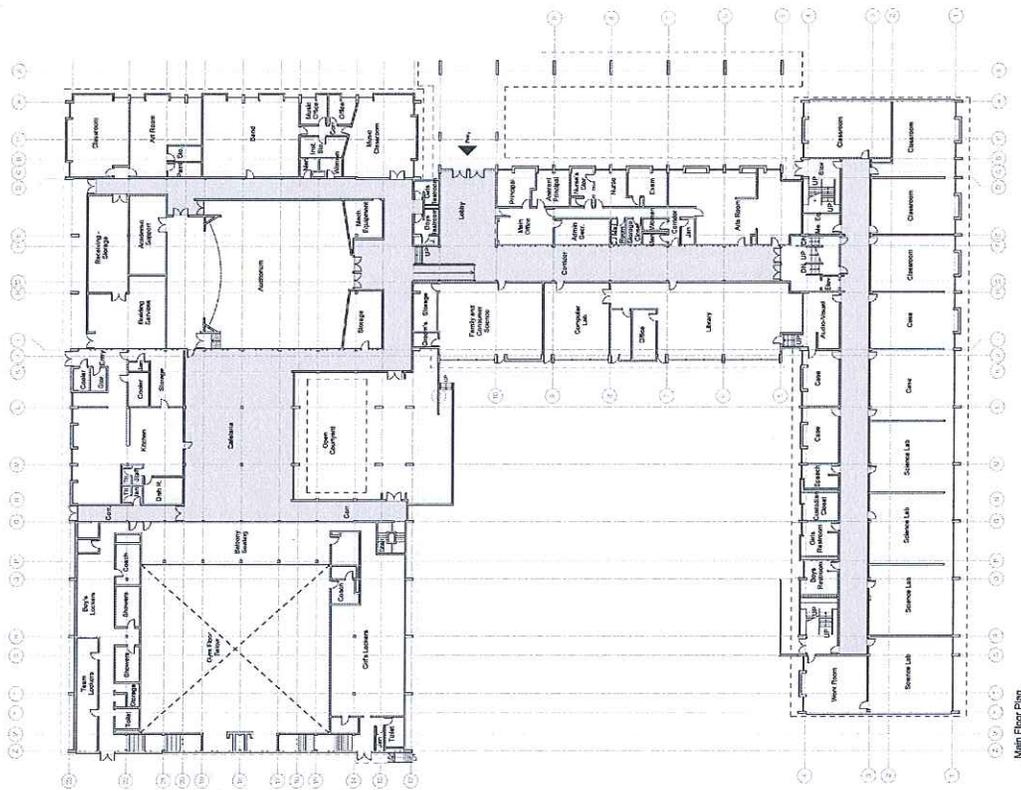


Old Marlboro Road

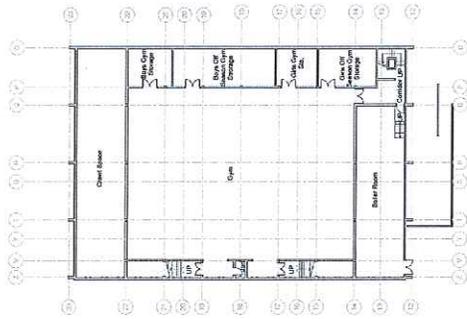
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Parking

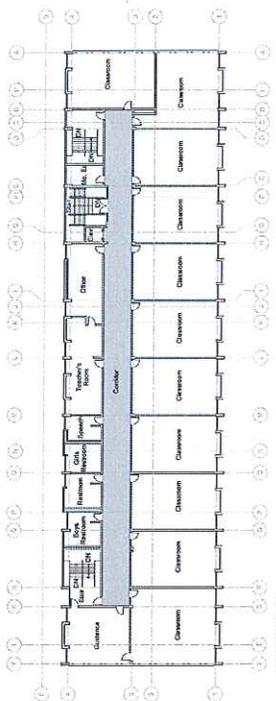
Parcel Boundary



Main Floor Plan

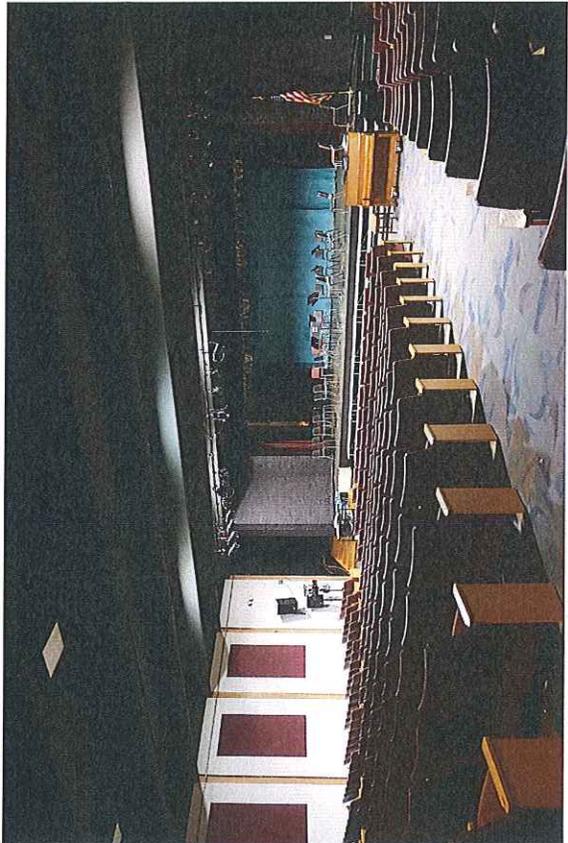


Gym Lower Level Floor Plan

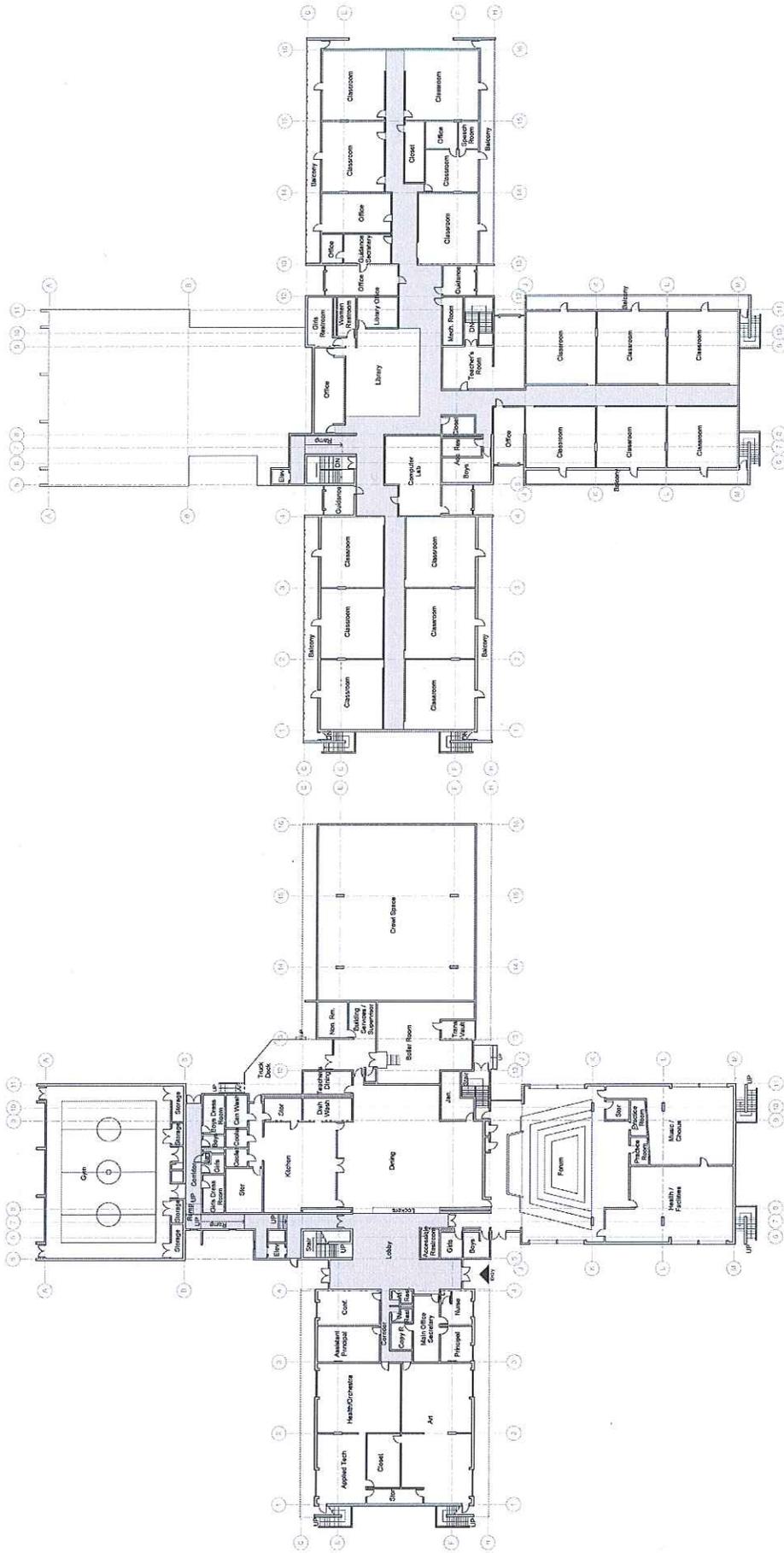


Second Floor Plan





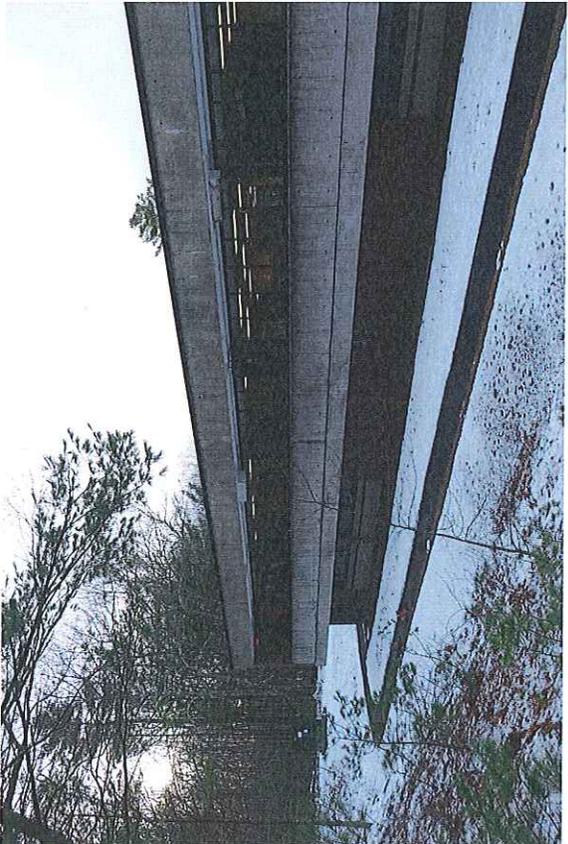




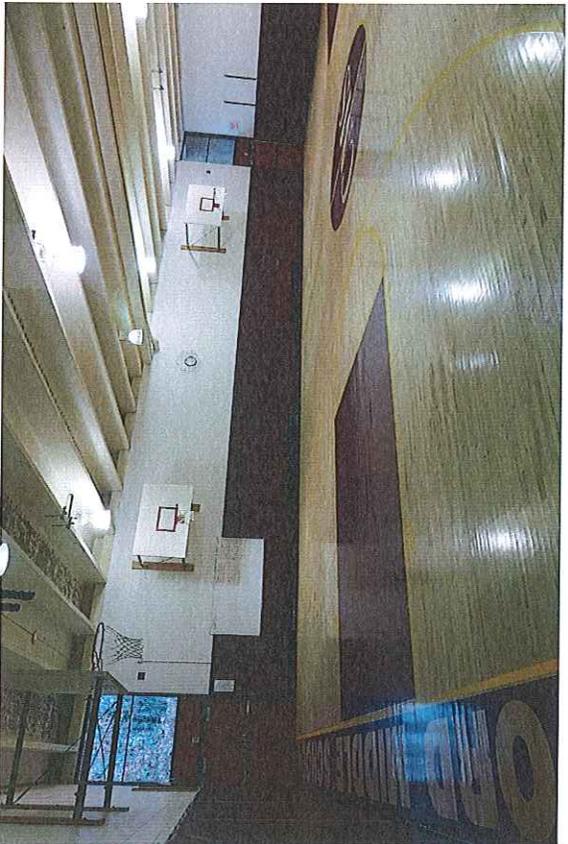
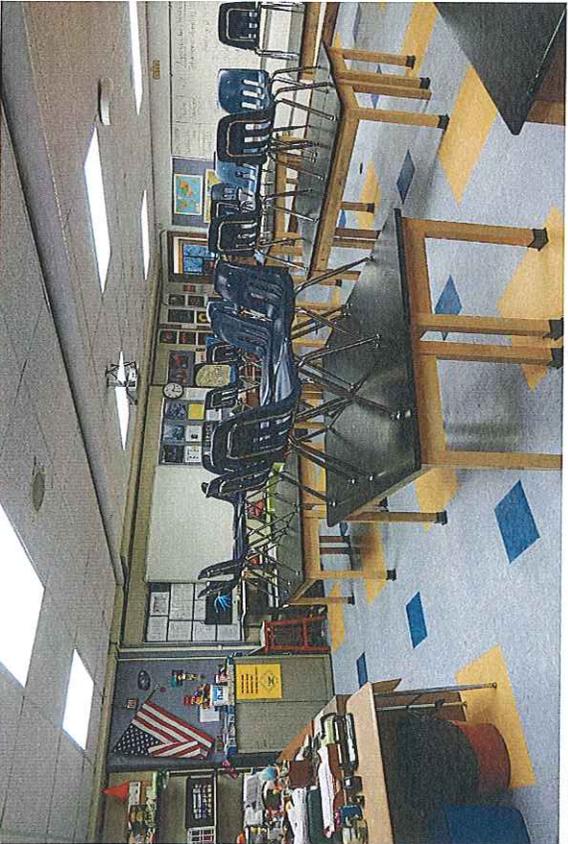
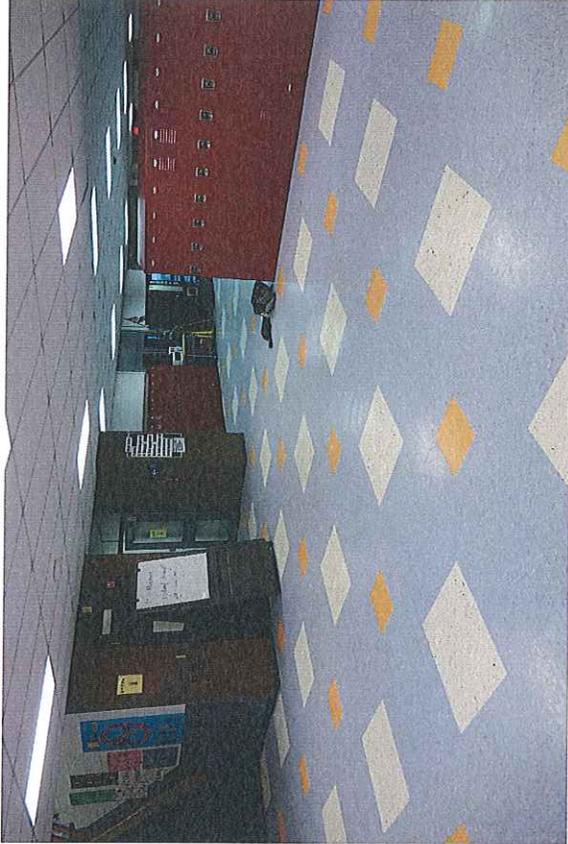
Peabody Building | Existing Conditions

Second Floor Plan

First Floor Plan

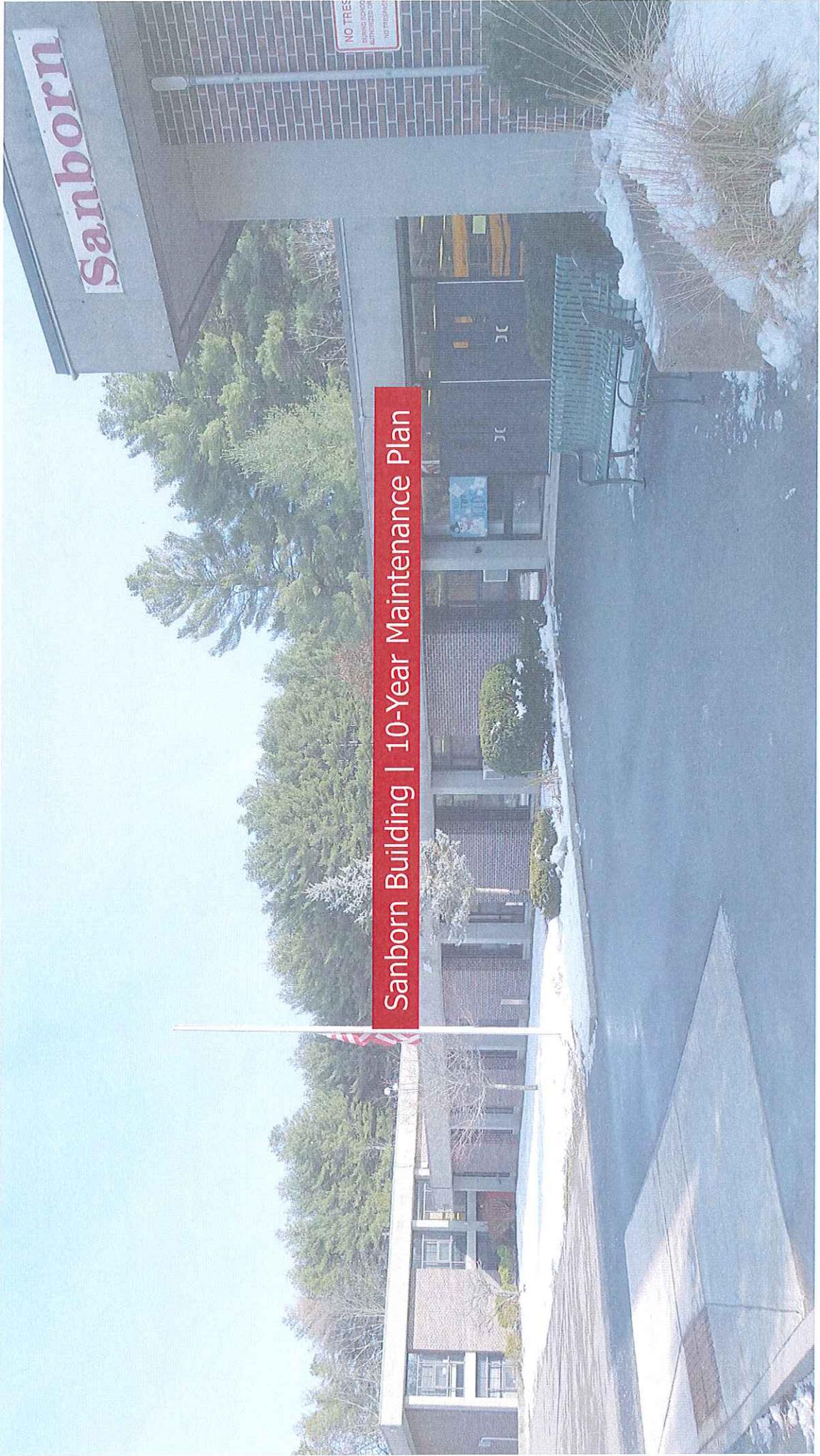


Peabody Building | Existing Conditions



**10-YEAR
MAINTENANCE PLAN**

No	Categories	Required Action Priority: 0-2 Years	Cost	Recommended Action Priority: 0-10 Years	Cost	Optional Priority: 0-10 Years	Cost	Other Action Items (Not Budgeted)
<u>1</u>	Architectural/Interior							
<u>2</u>	Stormwater Management							
<u>3</u>	Sewer							
<u>4</u>	Water							
<u>5</u>	Parking							
<u>6</u>	Structure							
<u>7</u>	HVAC							
<u>8</u>	Fire Protection and Plumbing							
<u>9</u>	Electrical							
<u>10</u>	Technology							
<u>11</u>	Code							

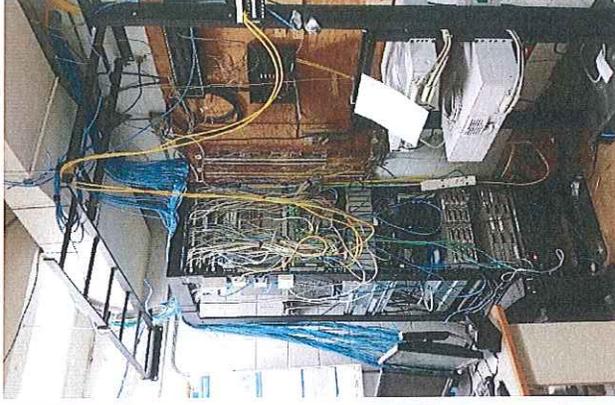


Sanborn Building | 10-Year Maintenance Plan

NO TREES TO BE REMOVED OR DAMAGED WITHOUT APPROVAL OF THE TOWN ENGINEER

- **Re-grade paving and landscape to direct runoff**
- **Repair concrete steps, NW corner classrooms**
- **Upgrade exit signage (code)**
- **Upgrade telecommunications infrastructure (code)**
- **Expand and upgrade fire alarm system (code)**

- Repair several brick veneer cracks
- Provide rated doors at two classroom egress stair
- Stripe 21 additional required parking spaces
- Complete modification of boiler room ventilation
- Make kitchen gas header code compliant
- Upgrade telephone to new system provider



Required

Recommended

Optional

Other Actions

Total

Sanborn Building | 10-Year Maintenance Plan

- **Steam clean entire exterior**
- **Regrade concrete paving and lawn at courtyard**
- **Protect building with automatic sprinklers**
- **Provide ADA compliant Staff Toilet Rooms**
- **Provide ADA compliant casework fixtures**
- Clean all drainage structures and pipe network
- Repair landscape at minor erosion scars
- Assess condition of existing building sewer system
- Evaluate roof drainage and add scuppers
- Evaluate condition and clean courtyard retaining wall
- Repair concrete at 10% of exterior column bases
- Repair crack at classroom interior CMU wall
- Protect building with automatic sprinklers
- Selectively replace piping insulation
- Expand and upgrade intrusion detection system
- Upgrade and expand video surveillance system
- Upgrade data communications/Wi-Fi system
- Upgrade PA system and integrate with telephone
- Provide new wired or wireless clock system
- Upgrade audio visual system



Required

Recommended

Optional

Other Actions

Total

Sanborn Building | 10-Year Maintenance Plan

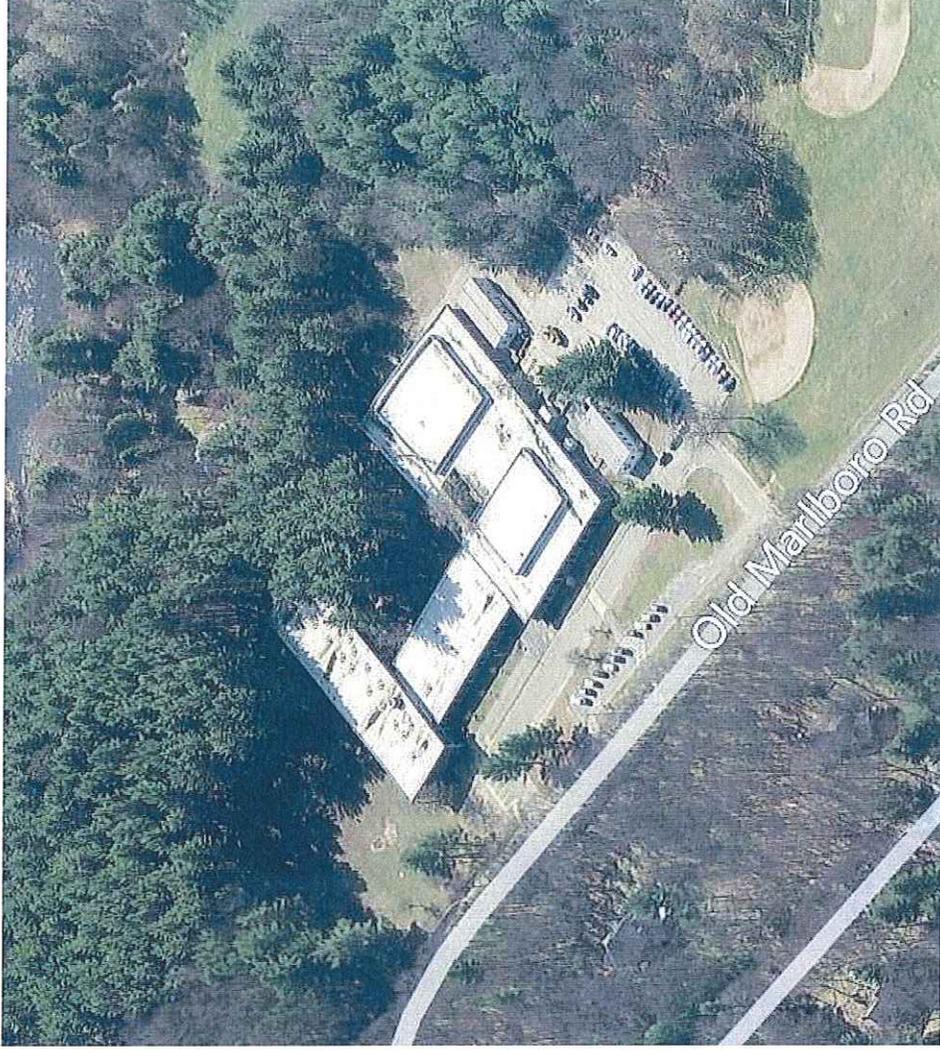
- **Evaluate floor-to-wall seismic connections**
- **Replace aging hot water piping distribution system**
- **Perform complete building survey if major project**
- Repoint brick veneer in limited areas
- Review efficiency of hot water pump system
- Replace dated pneumatic control system
- Provide emergency generator



Required	Recommended	Optional	Other Actions	Total	Sanborn Building 10-Year Maintenance Plan
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● **Evaluate roof and flashings for replacement**

- Prepare detailed assessment of drainage system
- Prepare maintenance plan for drainage system
- Prepare maintenance plan for sewage disposal system
- Flow test all domestic and fire protection lines
- Prepare maintenance plan for water supply system
- Evaluate roof fire resistance rating
- Correct control of boiler room outside air louver
- Verify viability of access control intercom system



Required	Recommended	Optional	Other Actions	Total	Sanborn Building 10-Year Maintenance Plan
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SANBORN BUILDING

No	Categories	Required Action Priority: 0-2 Years	Cost	Recommended Action Priority: 0-10 Years	Cost	Optional Priority: 0-10 Years	Cost	Other Action Items (Not Budgeted)
1	Architectural/Interior	1.1 Provide rated doors at two classroom egress stairs	\$25,050	1.2 Steam clean entire exterior	\$88,725			
2	Stormwater	2.1 Re-grade paving and landscape to direct runoff	\$49,454	2.2 Clean all drainage structures and pipe network	\$5,000			2.4 Prepare detailed assessment of drainage system
3	Management			2.3 Repair landscape at minor erosion scars	\$2,000			2.5 Prepare Maintenance Plan for drainage system
4	Sewer			3.1 Assess condition of existing building sewer system	\$1,000			3.2 Prepare Maintenance Plan for sewage disposal system
5	Water							4.1 Flow test all domestic and fire protection lines
6	Parking	6.1 Stripe 21 additional required parking spaces	\$2,100	6.3 Evaluate roof drainage and add scuppers	\$58,400			4.2 Prepare Maintenance Plan for water supply system
7	Structure	6.2 Repair concrete exterior steps, NW corner classrooms	\$10,000	6.4 Regrade concrete paving and lawn at cafeteria courtyard	\$23,904			6.10 Evaluate roof and flashings for replacement
8	Structure		\$4,452	6.5 Evaluate condition and clean courtyard retaining wall	\$3,580			6.11 Evaluate roof fire resistance rating
9	Structure	6.6 Repair concrete at 10% of exterior column bases	\$2,400	6.7 Repair crack at classroom interior CMU wall	\$1,000			
10	HVAC	7.1 Complete modification of boiler room ventilation	\$2,500					
11	Fire Protection and	8.1 Make kitchen gas header code compliant	\$2,500	8.2 Protect building with automatic sprinklers	\$805,274			7.2 Replace aging hot water piping distribution system
12	Plumbing			8.3 Selectively replace piping, insulation	\$2,000			7.3 Review efficiency of hot water pump system
13	Plumbing			8.4 Provide ADA compliant Staff Toilet Rooms	\$91,058			7.4 Replace dated pneumatic control system
14	Plumbing			8.5 Provide ADA compliant casework fixtures	\$80,000			
15	Electrical	9.1 Expand and upgrade fire alarm system (code)	\$310,051					7.5 Correct control of boiler room outside air blower
16	Electrical	9.2 Upgrade exit signage (code)	\$14,000					
17	Electrical	10.1 Upgrade telecommunications infrastructure (code)	\$224,788	10.3 Expand and upgrade intrusion detection system	\$7,150			
18	Electrical	10.2 Upgrade telephone to new system provider	\$7,500	10.4 Upgrade and expand video surveillance system	\$75,000			10.9 Verify viability of access control intercom system
19	Technology			10.5 Upgrade data communications/Wi-Fi system	\$221,465			
20	Technology			10.6 Upgrade front door intercom	\$6,000			
21	Technology			10.7 Upgrade PA system and integrate with telephone	\$66,440			
22	Technology			10.8 Provide new wired or wireless clock system	\$26,576			
23	Code			10.9 Upgrade audio visual system	\$250,000			
24	Code			11.1 Perform complete building survey if major project	\$15,000			

General Conditions & Project Requirements (17%): \$112,866
 Overhead & Profit (7%): \$53,569
 Design Contingency (15%): \$122,826
SUBTOTAL: \$941,666

Trade Costs: \$652,405
 General Conditions & Project Req. (17%): \$314,336
 Overhead & Profit (7%): \$149,192
 Design Contingency (15%): \$342,075
SUBTOTAL: \$2,622,575

Trade Costs: \$2,067,972
 General Conditions & Project Req. (17%): \$357,759
 Overhead & Profit (7%): \$169,801
 Design Contingency (15%): \$389,330
SUBTOTAL: \$2,984,862

Escalation (1 year/4 %) \$37,667
Total Construction: \$979,333

Escalation (6 years/26.5 %) \$694,982
Total Construction: \$3,317,557

Escalation (6 years/26.5 %) \$790,988
Total Construction: \$3,775,850

Required

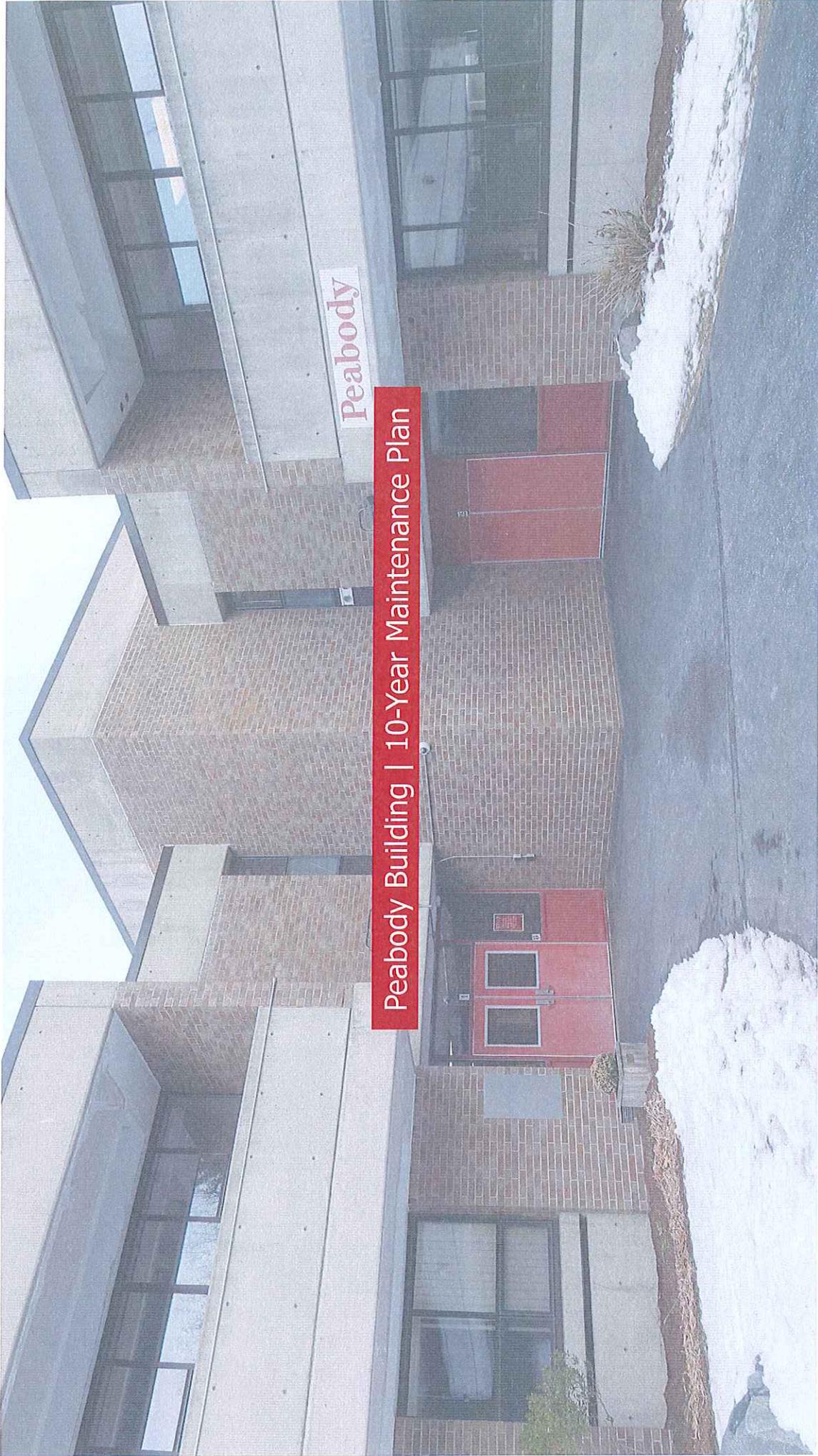
Recommended

Optional

Other Actions

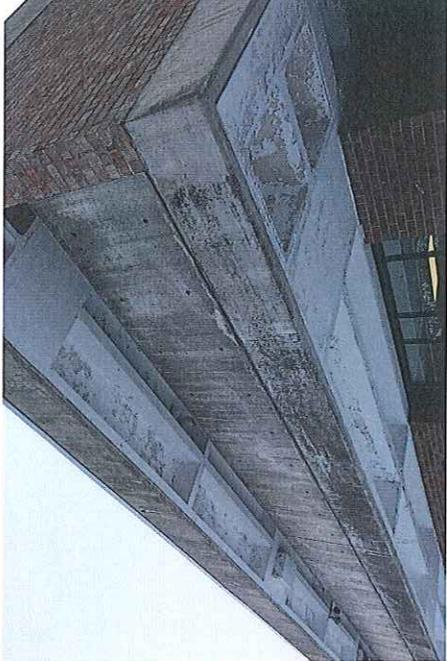
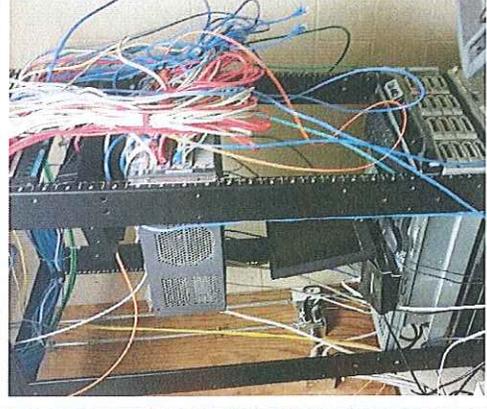
Total

Sanborn Building | 10-Year Maintenance Plan



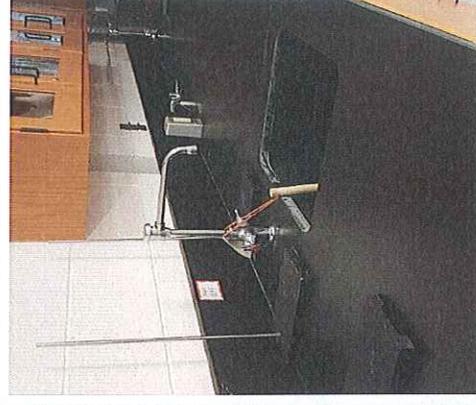
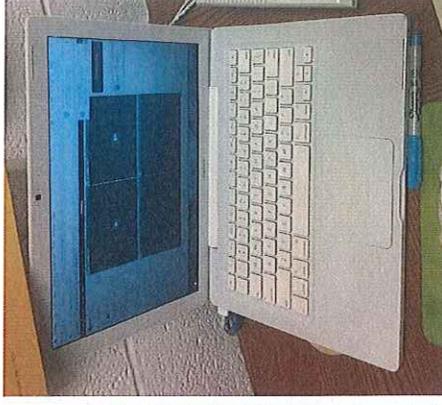
Peabody Building | 10-Year Maintenance Plan

- Repaint underside of balcony and roof overhangs
- Pave and provide 22 additional parking spaces
- Repair several brick veneer cracks
- Repair balcony decks and correct drainage
- Expand and upgrade fire alarm system (code)
- Upgrade exit signage (code)
- Upgrade telecommunications infrastructure (code)
- Provide 1 additional ADA parking space
- Make Kitchen gas header code compliant
- Upgrade telephone to new system provider



Required	Recommended	Optional	Other Actions	Total

- **Steam clean the entire exterior**
- **Protect building with automatic sprinklers**
- **Provide ADA compliant Staff Toilet Rooms**
- **Provide ADA compliant casework fixtures**
- **Upgrade and expand video surveillance system**
- Clean all drainage structures and pipe network
- Repair landscape at minor erosion scars
- Assess condition of existing building sewer system
- Evaluate roof drainage and add scuppers
- Repair parapet shrinkage cracks and spalling
- Repair exterior concrete and brick in select locations
- Provide ventilation and AC at main office
- Selectively replace piping for insulation.
- Check cast iron piping for repairs
- Expand and upgrade intrusion detection system
- Upgrade and expand video surveillance system
- Upgrade data communications / Wi-Fi system
- Upgrade front door intercom
- Upgrade PA system and integrate with telephone
- Provide new wired or wireless clock system
- Upgrade audio visual system



Required

Recommended

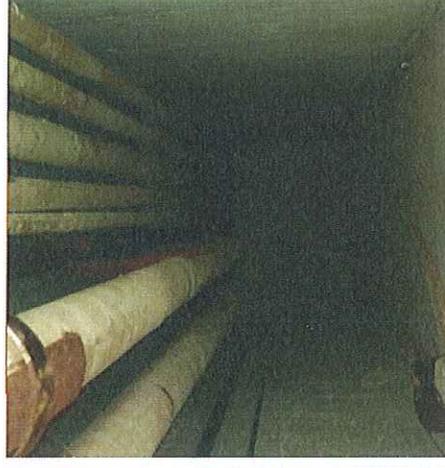
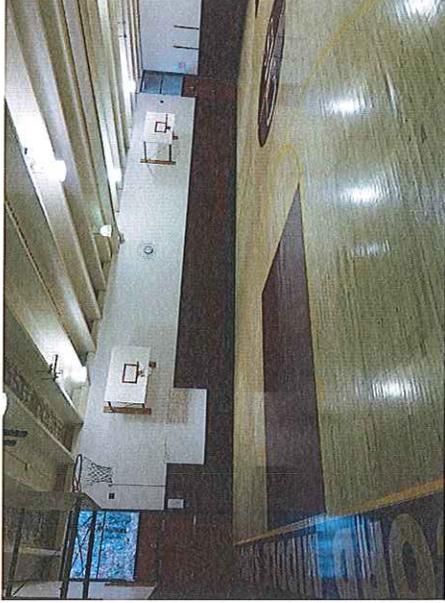
Optional

Other Actions

Total

Peabody Building | 10-Year Maintenance Plan

- **Build gymnasium addition to middle school needs**
- **Build auditorium addition to middle school needs**
- **Evaluate floor-to-wall seismic connections**
- **Replace aging hot water piping distribution system**
- **Perform complete building survey if major project**
- Find alternative to leaching field siphon dosing
- Brick veneer requires repointing in limited areas
- Review efficiency of hot water pump system
- Replace dated pneumatic control system
- Provide emergency generator



Required	Recommended	Optional	Other Actions	Total

- Evaluate roof and flashings for replacement
- Find alternative to boiler room exhaust under classrooms

- Prepare detailed assessment of drainage system
- Prepare Maintenance Plan for drainage system
- Prepare Maintenance Plan for sewage disposal system
- Flow test all domestic and fire protection lines
- Prepare Maintenance Plan for water supply system
- Evaluate roof fire resistance rating
- Verify viability of access control intercom system



Required	Recommended	Optional	Other Actions	Total
			Peabody Building 10-Year Maintenance Plan	

PEABODY BUILDING

No	Categories	Required Action Priority: 0-2 Years	Cost	Recommended Action Priority: 0-10 Years	Cost	Optional Priority: 0-10 Years	Cost	Other Action Items (Not Budgeted)
1	Architectural/Interior	1.1 Repaint underside of balcony and roof overhangs	\$38,469	1.2 Steam clean the entire exterior	\$89,010	1.3 Build gymnasium addition to middle school needs 1.4 Build auditorium addition to middle school needs	\$2,800,000 \$5,150,000	
2	Stormwater Management			2.1 Clean all drainage structures and pipe network 2.2 Repair landscape at minor erosion scars	\$5,000 \$2,000	2.3 Prepare detailed assessment of drainage system 2.4 Prepare Maintenance Plan for drainage system		
3	Sewer			3.1 Assess condition of existing building sewer system	\$1,000	3.2 Find alternative to teaching field siphon dosing	\$40,000	3.3 Prepare Maintenance Plan for sewage disposal system
4	Water					4.1 Flow test all domestic and fire protection lines 4.2 Prepare Maintenance Plan for water supply system		
5	Parking	5.1 Pave and provide 22 additional parking spaces 5.2 Provide 1 additional ADA parking space	\$71,264 \$5,825					
6	Structure	6.1 Repair several brick veneer cracks 6.2 Repair balcony decks and correct drainage	\$7,500 \$49,681	6.3 Evaluate roof drainage and add scuppers 6.4 Repair parapet shrinkage cracks and spalling 6.5 Repair exterior concrete and brick in select locations	\$39,200 \$15,000 \$24,840	6.6 Brick veneer requires repointing in limited areas. 6.7 Evaluate floor-to-wall seismic connections	\$60,930 \$188,750	6.8 Evaluate roof and flashings for replacement 6.9 Evaluate roof fire resistance rating
7	HVAC			7.1 Provide ventilation and AC at main office	\$28,000	7.2 Replace aging hot water piping distribution system 7.3 Review efficiency of hot water pump system 7.4 Replace dated pneumatic control system	\$481,058 \$68,750 \$240,529	7.3 Find alternative to boiler room exhaust under classrooms
8	Fire Protection and Plumbing			8.1 Make kitchen gas header code compliant 8.2 Protect building with automatic sprinklers 8.3 Selectively replace piping insulation. 8.4 Check cast iron piping for repair. 8.5 Provide ADA compliant Staff Toilet Rooms 8.6 Provide ADA compliant casework fixtures	\$2,500 \$515,355 \$1,500 \$15,000 \$91,058 \$65,000	8.7 Provide emergency generator.	\$150,000	
9	Electrical	9.1 Expand and upgrade fire alarm system (code) 9.2 Upgrade exit signage (code)	\$196,083 \$12,000	10.3 Expand and upgrade intrusion detection system	\$19,500			
10	Technology	10.1 Upgrade telecommunications infrastructure (code) 10.2 Upgrade telephone to new system provider	\$144,934 \$7,500	10.4 Upgrade and expand video surveillance system 10.5 Upgrade data communications/Wi-Fi system 10.6 Upgrade front door intercom 10.7 Upgrade PA system and integrate with telephone 10.8 Upgrade audio visual system	\$98,000 \$141,488 \$42,446 \$16,979 \$200,000	10.9 Verify viability of access control intercom system		
11	Code			11.1 Perform complete building survey if major project			\$15,000	

Trade Costs: \$537,456
 General Conditions & Project Requirements (17%): \$92,927
 Overhead & Profit (7%): \$44,130
 Design Contingency (15%): \$101,185
SUBTOTAL: \$775,698

Trade Costs: \$1,409,376
 General Conditions & Project Req.(17%): \$243,822
 Overhead & Profit (7%): \$115,724
 Design Contingency (15%): \$265,338
SUBTOTAL: \$2,034,260

Trade Costs: \$7,195,017
 General Conditions & Project Req. (17%): \$1,244,738
 Overhead & Profit (7%): \$590,783
 Design Contingency (15%): \$1,354,581
SUBTOTAL: \$10,385,119

Escalation (1 year/4 %): \$31,028
 Total Construction: \$806,726

Escalation (6 years/26.5 %): \$539,079
 Total Construction: \$2,573,339

Escalation (6 years/26.5 %): \$2,752,057
 Total Construction: \$13,137,176

Required

Recommended

Optional

Other Actions

Total

Peabody Building | 10-Year Maintenance Plan

- **Presently two buildings nearly a mile apart**

- Duplication of administrative, teaching, auditorium, cafeteria, gymnasium space
- Scheduling inefficiency teaching in two locations
- Increased operating and maintenance budgets with two facilities

- **Full and fair cash values of buildings**

- Sanborn: \$14,260,000
- Peabody: \$10,227,000

- **Additional Code Compliance triggers**

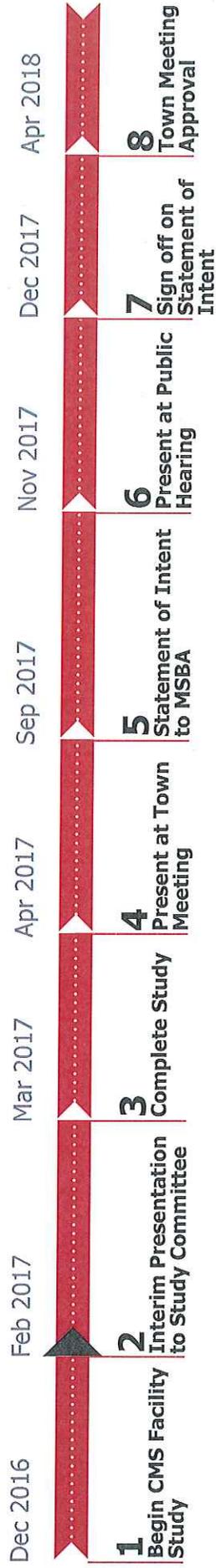
- 30% Cost threshold for MAAB upgrades within 3 year period
- 33% Cost threshold for Life Safety upgrades within 5 year period
- 50% Project area threshold for Seismic upgrade requirements

Noting Parcel



● **Completion of Study**

- Confirm prioritization and budgets for 10-year Maintenance Plan
- Develop 50-year master plan if existing buildings retained
- Develop concept design for new CMS facility



Next Steps

CONCORD
MIDDLE SCHOOL
FACILITY STUDY

February 7, 2017

Finegold Alexander Architects

Discussion

